



## Livestock Plaza/Sheep Barn

Addendum Issue Date: 8/12/24

### **Notice:**

The following addendum becomes part of the original Plans and Specifications and takes precedence over the items that may conflict. The Bidder shall acknowledge this addendum on the Bid Form. Failure to acknowledge this addendum may cause rejection of the Bid. Refer to the Instructions to Bidders and the Bid Form.

### **Additional Documents:**

Plan Holders List

### **Approved Product:**

1. CMI – 450TB Center Glaze Storefront.
2. Bosch Climate 5000 G3 9k BTU Universal Wall Mounted IDU.
3. Bosch Climate 5000 48k BTU Multi Zone Regular System Outdoor Unit.
4. Bosch Climate 5000 18k BTU Multi Zone Regular System Outdoor Unit.
5. Greenheck Model SE1-16-428-A5 Exhaust Fan.

### **General Clarification Items:**

1. Standard exposed fastener snow guard without delegated design is acceptable.
2. The cord drops need to have GFI protection. The plans indicate it locally at the receptacle, but a GFCI circuit breaker would be acceptable too.
3. The contractor is responsible for moving all power/data lines not directly owned by the SDSF during the building relocation.
4. No gutters in the project.
5. Ceilings with a gyp. finish will be painted PNT-2.
6. Hollow metal doors and frames will be painted PNT-3.
7. Wall coverings are indicated in the drawing set with FRP-1 and FRP-2.
8. No fire extinguisher cabinets in the project.
9. Provide deflection bead at the tops of walls that abut ceilings receiving gypsum finish.
10. Paint for the steel is called out in the interior paint specifications.
11. The basis for design of the metal soffit is a 16” Quad 4” soffit white Aluminum.
12. The basis of design for the hand dryers is the Xlerator Hand Dryer H-1927 white.
13. The Basis of design for the toilet paper dispenser is the Moen triple post toilet paper holder chrome.
14. Four soap dispensers are to be provided. 2two in each restroom.

### **Architectural:**

### **Specifications:**

See attached specifications.

**Drawings:**

The following changes, revisions, or clarifications shall be made to the drawing documents.:

**Sheet A4.1 - Building Elevations:**

Keynotes 5 revised.

**Sheet A5.1 – Building Sections:**

Roof assembly tags revised.

**Civil:**

**Specifications:**

N/A.

**General Clarification Items:**

1. Base course is an acceptable alternative to the gravel surfacing for the exterior aggregate.

**Drawings:**

**C3.1 - Quantities & Details**

- Updated Quantities Tables

**C5.1 - Site Grading & Utilities**

- Wash rack water line revision.

**Structural:**

**Specifications:**

N/A.

**General Clarification Items:**

1. A minimum of 26 gauge is required for the preferred basis of design 9” rib spaced metal panel. The R-loc panel is acceptable with a 12” rib spacing if the metal panel is 26 gauge, #12 fasteners rather than #10 fasteners for the roof only, and #12 stitch at 12” o.c. roof only.
2. The 6” slab per structural note on S1.1 is the deign intent for the concrete floor slab in the arena area.
3. It’s acceptable to replace the 5 ¼ x 7” PSL with a 5 ½” x 7 ½” 24F-V8 DF (balanced).
4. Gravel surfacing is addressed in the Structural sheets.

**Drawings:**

**S1.1 – Main Level Plan**

- Gravel surfacing addressed.

**Mechanical:**

**Specifications:**

N/A.

**Drawings:**

N/A.

## **Electrical:**

### **Specifications:**

Section 265000 – Lighting:

Paragraph 2.2(A)(1): The following manufacturer is added to the approved list:

- Cree Lighting has been added as an approved manufacturer for lighting Type AA1.

### **General Clarification Items:**

1. The receptacle devices need to be of the water-resistant type. The standard covers are acceptable and do not need to be an in-use type of cover.
2. Conduit and boxes in the barn area can be type PVC, but must be schedule 80 below 8' above finished floor. The EC shall coordinate with the AHJ for what they will accept in the barn area.

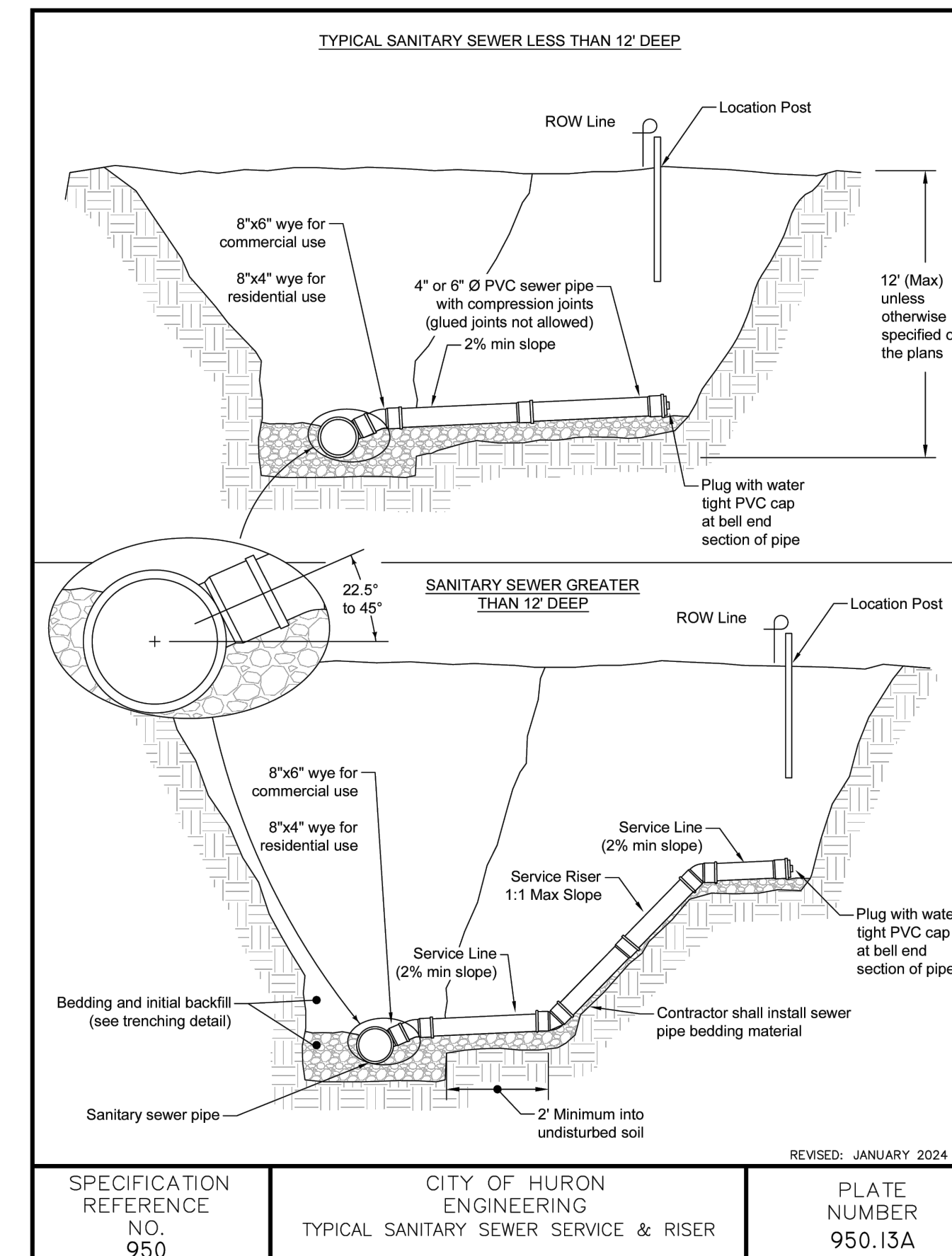
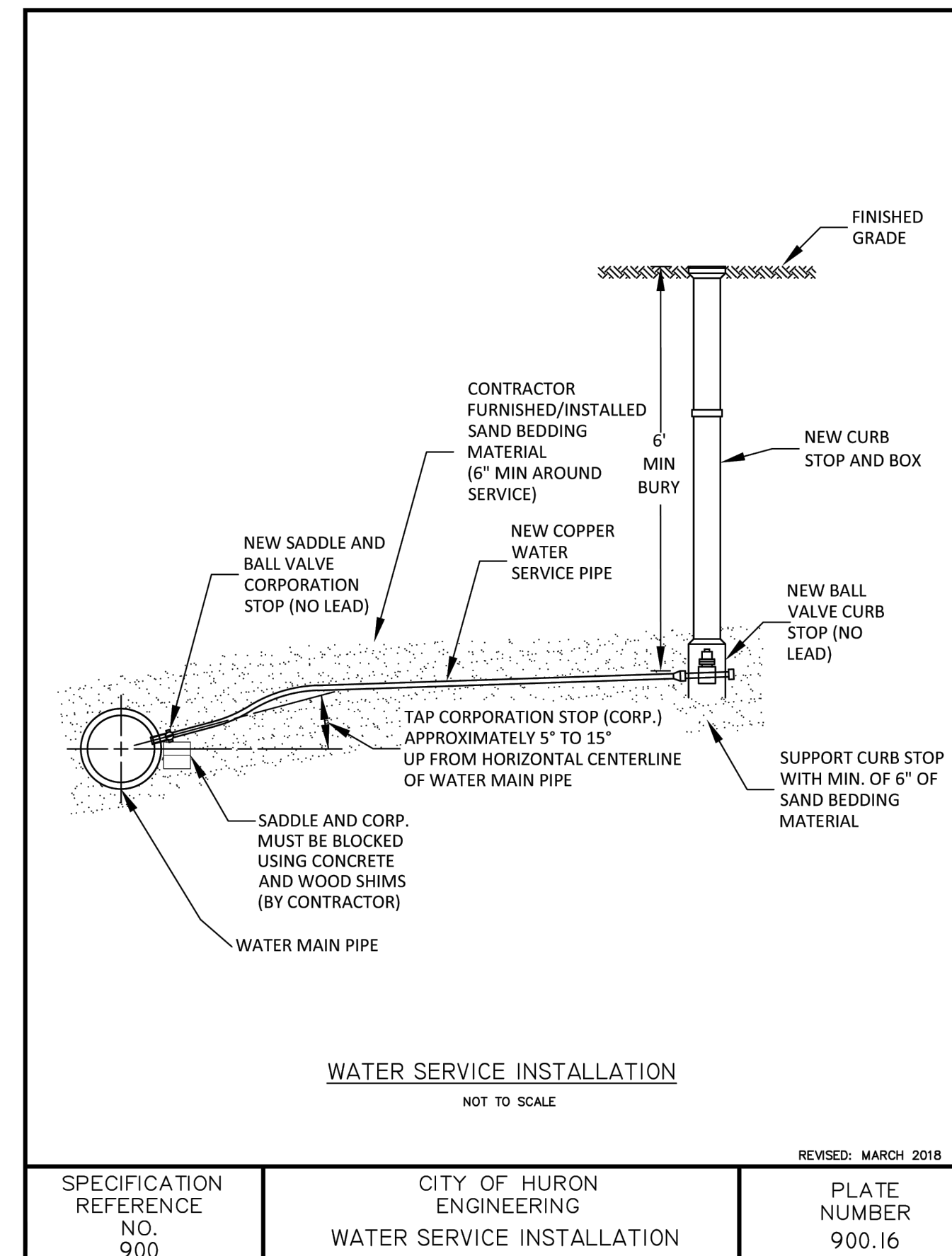
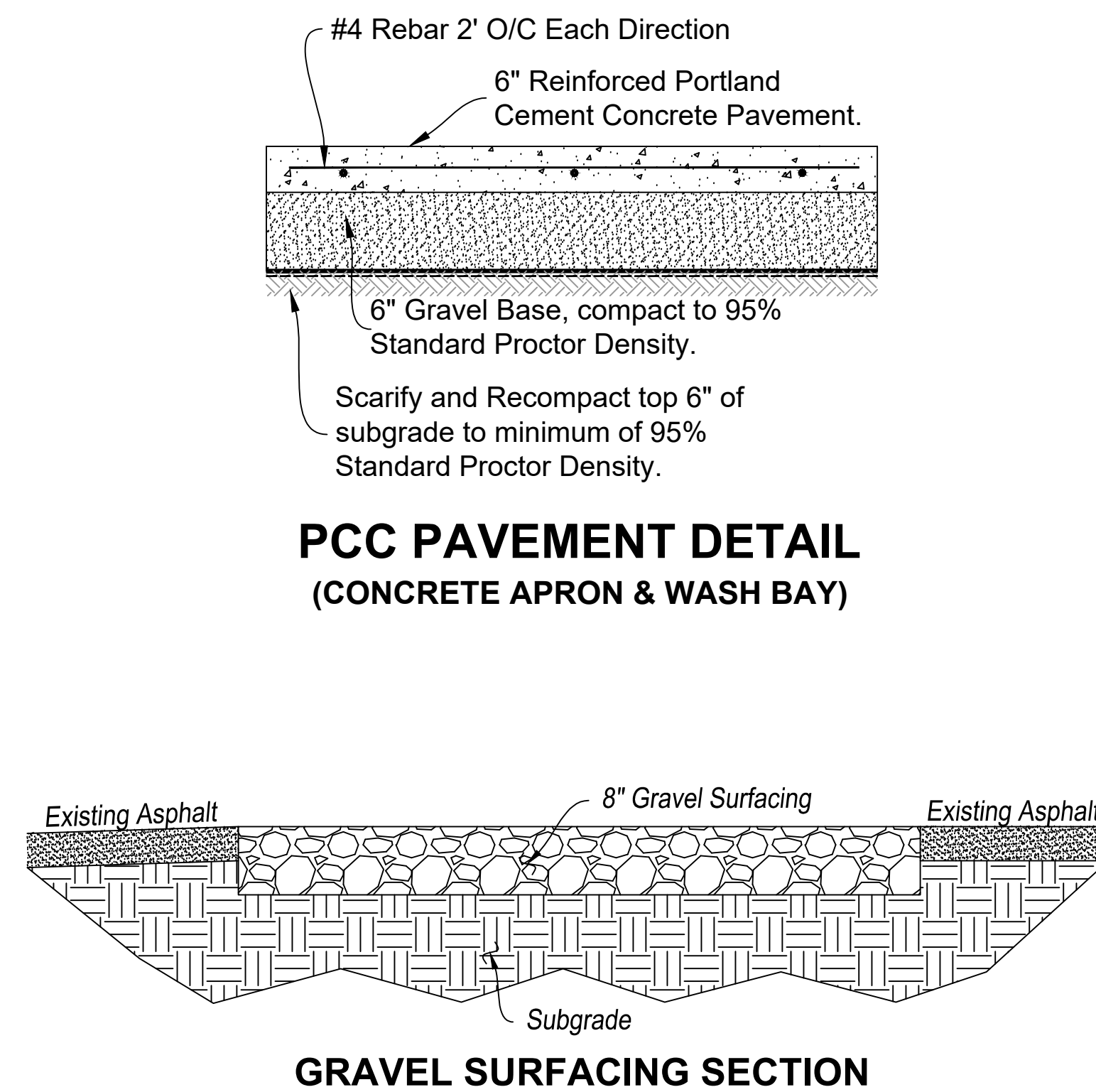
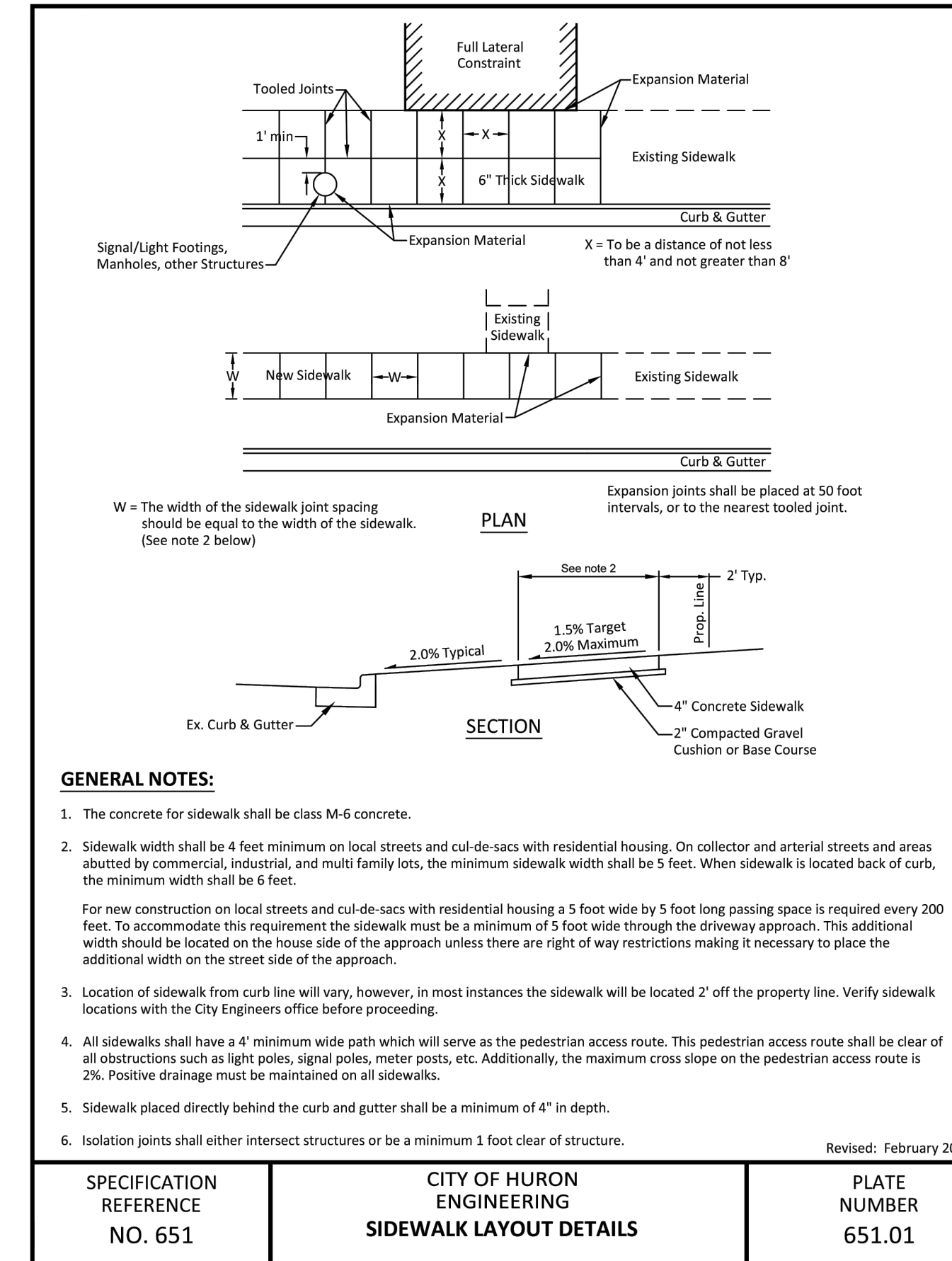
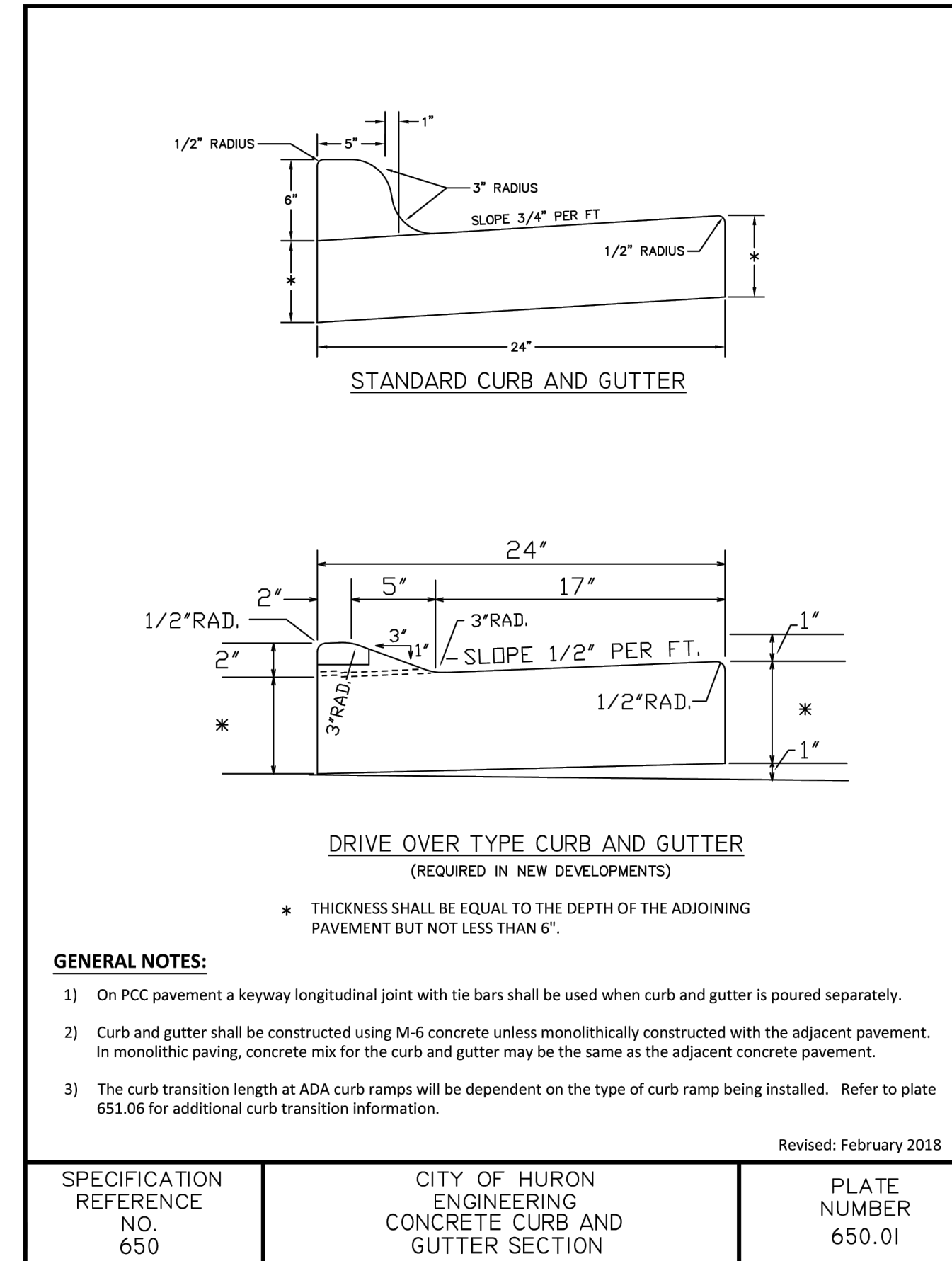
### **Drawings:**

N/A.

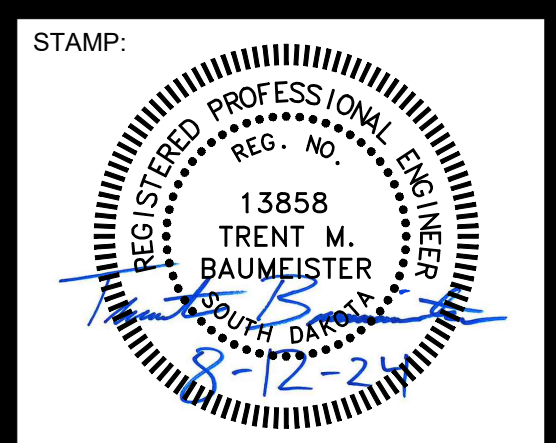
ESTIMATE OF QUANTITIES (BASE BID)			
ITEM	DESCRIPTION	QTY	UNIT
<b>General Items</b>			
1	Mobilization	1	LS
<b>Removals</b>			
2	Remove Gravel Surfacing	52,000	SF
3	Remove Asphalt Surfacing	19,050	SF
4	Sawcut Asphalt	125	LF
5	Remove Concrete Surfacing	455	SF
6	Remove Curb & Gutter	30	LF
<b>Erosion Control</b>			
7	F&I Temporary Vehicle Tracking Control	1	EA
8	F&I Concrete Washout Area	1	EA
9	F&I Sediment Control at Inlets w/Frames & Grates	10	EA
<b>Water Main</b>			
10	F&I 2" Domestic Water Service	112	LF
11	F&I 2" Curb Stop in Traffic Rated Collar	1	EA
12	Connect to Existing Water Main	1	EA
<b>Sanitary Sewer</b>			
13	F&I 6" Sanitary Sewer Service	156	LF
14	Connect to Existing Sanitary Sewer	1	EA
15	F&I 6" Sanitary Sewer Cleanout	1	EA
<b>Surfacing</b>			
16	F&I 10' Gravel Apron	7,180	SF
17	F&I Concrete Sidewalk	820	SF
18	F&I Gravel Surfacing	42,905	SF
19	F&I Concrete Curb & Gutter	30	LF
20	F&I Detectable Warning Panel	10	SF
<b>Building Relocation</b>			
21	Incidental Work - Grading	1	LS
22	F&I Contractor Furnished Borrow	30	CY
23	F&I Gravel Base Course	150	TON
24	Remove & Reset Chain Link Fence	150	LF

ESTIMATE OF QUANTITIES (ALTERNATE #2)			
ITEM	DESCRIPTION	QTY	UNIT
<b>Surfacing</b>			
1	F&I 10' Concrete Apron	7,180	SF

ESTIMATE OF QUANTITIES (ALTERNATE #3)			
ITEM	DESCRIPTION	QTY	UNIT
<b>Removals</b>			
1	Remove Railing w/Water	355	LF
2	Remove Concrete Wash Bay	3,865	SF
<b>Utilities</b>			
3	Adjust Storm Sewer Inlet Elevation	1	EA
4	F&I 1-1/2" Domestic Water Service	193	LF
5	F&I 3/4" Yard Hydrant	14	EA
<b>Surfacing</b>			
6	F&I Concrete Wash Bay	1,500	SF



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8/7/2024	6/12/2024
1	2
Addendum #2	Addendum #3

**QUANTITIES & DETAILS**

SHEET NAME: PROJECT NO. OSE#: M2319-10X

LIVESTOCK PLAZA/SHEEP BARN  
HURON, SD

PROJECT MANAGER: NICK KUMMER  
DATE: 07.17.2024

SHEET: C3.1

FULL-SCALE: 22x34  
HALF-SCALE: 11x17  
DRAWING MAY NOT BE PRINTED TO SCALE

**FOR CONSTRUCTION**



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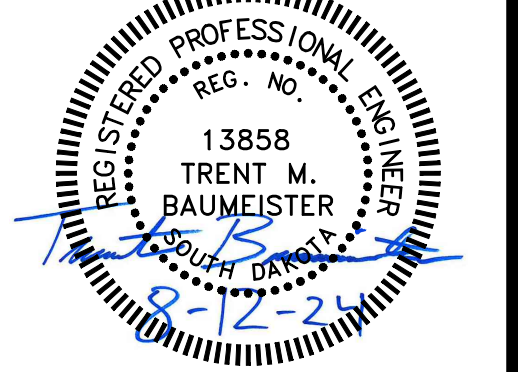
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REVISIONS:

1	Addendum #2	8/7/2024
2	Addendum #3	6/12/2024

**SITE GRADING & UTILITIES**

PROJECT NO:  
OSE#: M2319-10X

**LIVESTOCK PLAZA/SHEEP BARN**

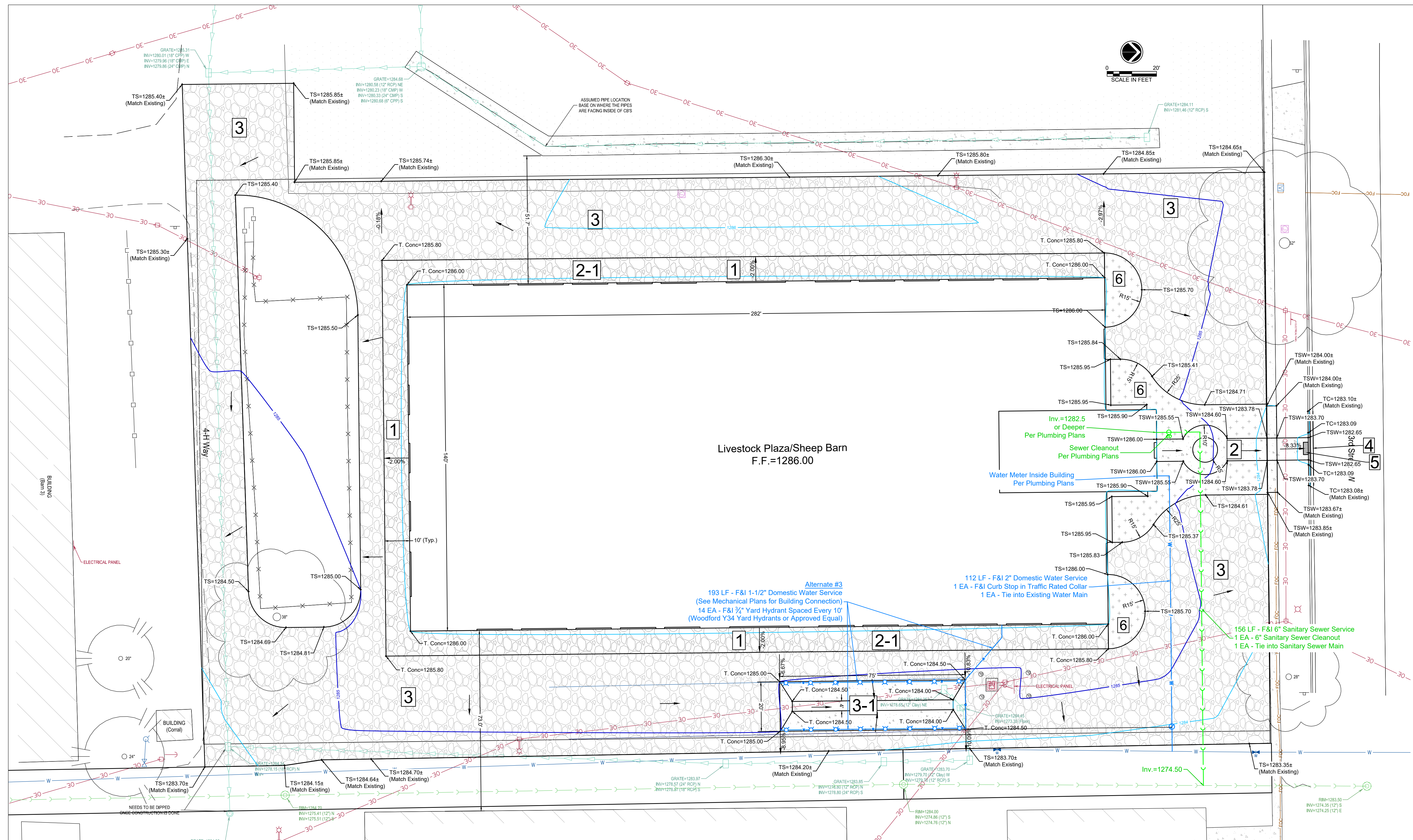
HURON, SD

PROJECT MANAGER:  
**NICK KUMMER**

DATE:  
07.17.2024

SHEET:

**C5.1**



Surfacing Legend		
Keynote	Description	Quantity
1	F&I 10' Gravel Apron	7,180 SF
2	F&I Concrete Sidewalk	820 SF
3	F&I Gravel Surfacing	42,905 SF
4	F&I Concrete Curb & Gutter	30 LF
5	F&I Detectable Warning Panel	10 SF
6	Landscaping (By Others)	2,435 SF

Surfacing Legend (Alternate #2)		
Keynote	Description	Quantity
2-1	F&I 10' Concrete Apron	7,180 SF

Surfacing Legend (Alternate #3)		
Keynote	Description	Quantity
3-1	F&I Concrete Wash Bay	1,500 SF

**FOR CONSTRUCTION**

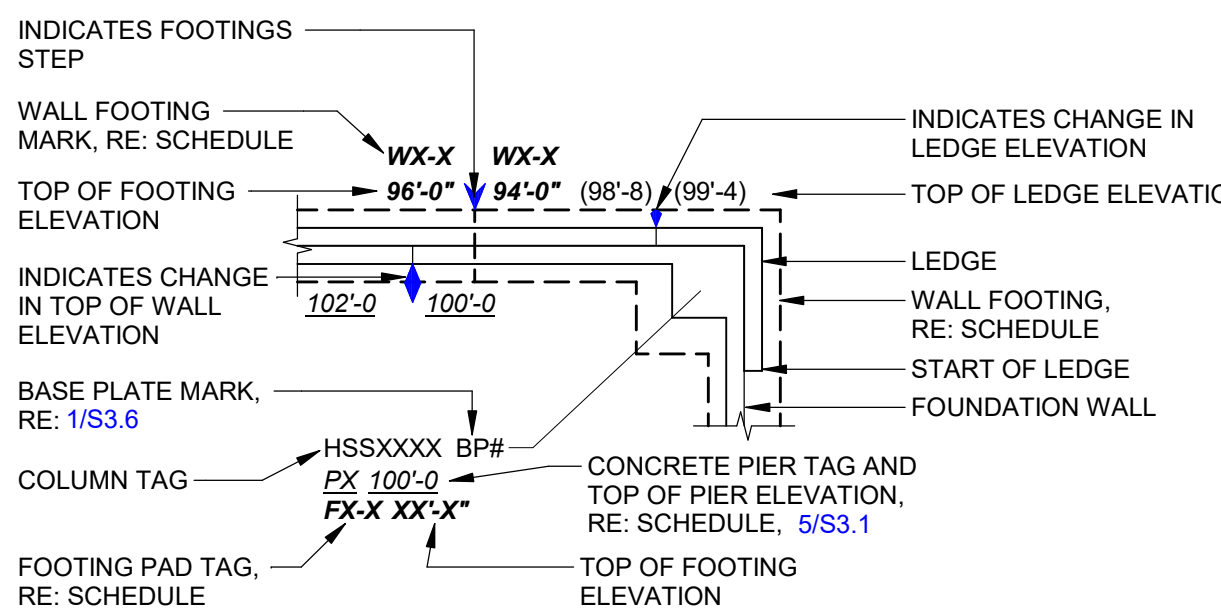
### WALL FOOTING SCHEDULE

MARK	WIDTH	THICKNESS	BOTTOM REINFORCEMENT		TOP REINFORCEMENT		NOTES
			LONG WAY	SHORT WAY	LONG WAY	SHORT WAY	
TS1-4	1'-4"	0'-8"	(2) #4	-	-	-	
WF1-0	1'-0"	1'-0"	(2) #4 CONTINUOUS	-	-	-	
WF1-4	1'-4"	1'-0"	(2) #5 CONTINUOUS	-	-	-	
WF2-0	2'-0"	1'-0"	(3) #5 CONTINUOUS	-	-	-	

### FOOTING PAD SCHEDULE

MARK	LENGTH	WIDTH	THICKNESS	BOTTOM REINFORCEMENT		TOP REINFORCEMENT		NOTES
				LONG WAY	SHORT WAY	LONG WAY	SHORT WAY	
F4-0	4'-0"	4'-0"	1'-0"	(5) #5	(5) #5	-	-	
F6-0	6'-0"	6'-0"	1'-2"	(7) #5	(7) #5	-	-	
F8-0	8'-0"	8'-0"	1'-4"	(8) #6	(8) #6	-	-	



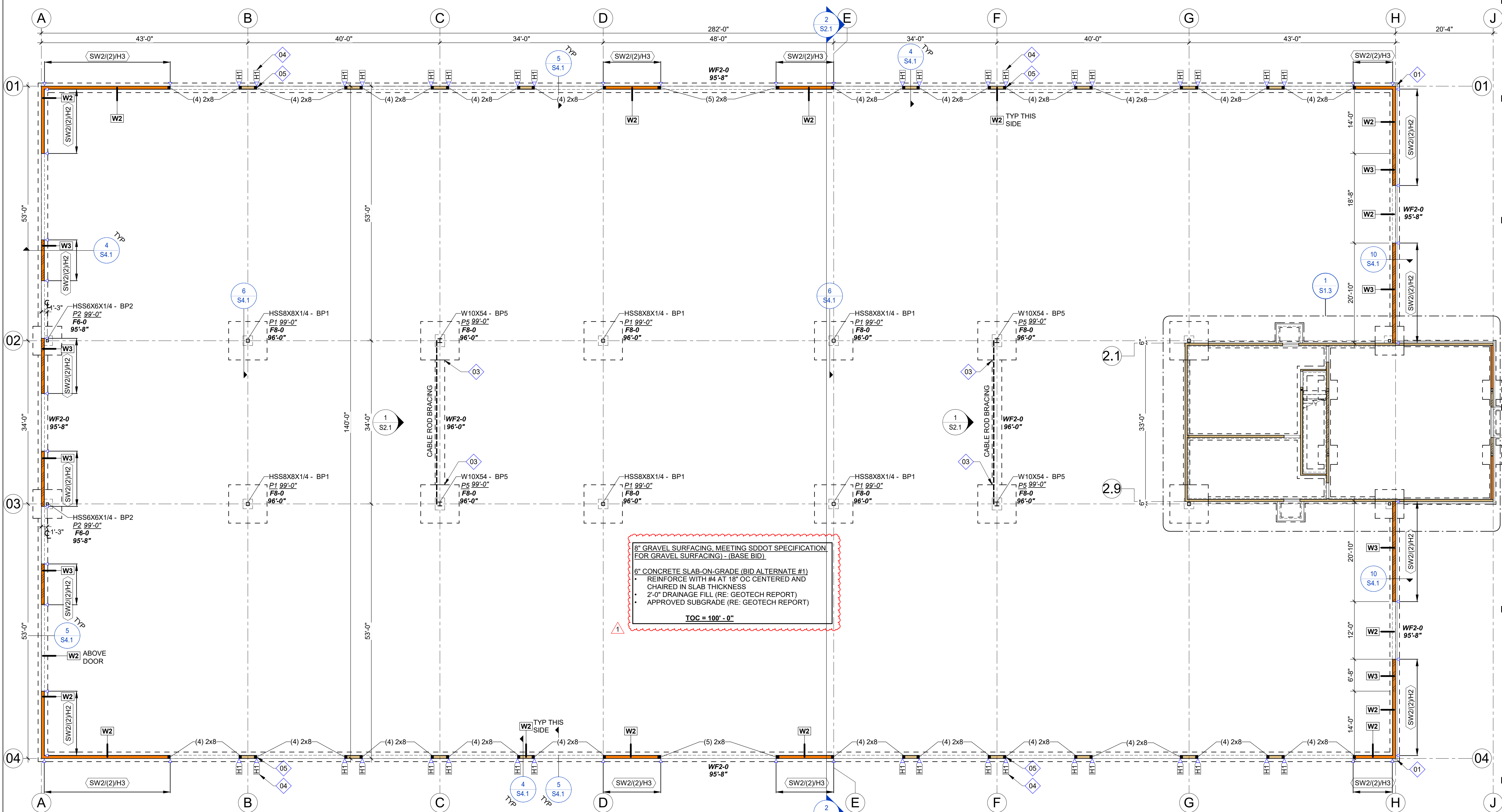
- #### FOUNDATION PLAN NOTES:
- REFER TO GEOTECHNICAL REPORT FOR EARTHWORK AND OVER-EXCAVATION REQUIREMENTS BELOW SLABS-ON-GRADE.
  - WHERE REQUIRED BY THE ARCHITECT, PROVIDE A VAPOR RETARDER DIRECTLY BELOW THE CONCRETE SLAB AND ABOVE THE GRANULAR MATERIAL.
  - CONTRACTOR SHALL SUBMIT LOCATIONS OF PROPOSED CONSTRUCTION AND CONTROL JOINTS TO ARCHITECT AND ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF THE SLAB.
  - FOOTINGS SHALL BE CENTERED ON GRID LINES OR UNDER COLUMNS AND WALLS UNLESS DIMENSIONED OTHERWISE ON PLAN.
  - WALL SHEATHING (BEHIND METAL CLADDING) SHALL BE 7/16" CATEGORY, APA RATED PLYWOOD, OR OSB EQUIVALENT, WITH A 24/16 SPAN RATING. WALL SHEATHING ATTACHMENT SHALL MEET THE REQUIREMENTS OF SW1 PER THE SHEAR WALL SCHEDULE, UNLESS MORE STRINGENT REQUIREMENTS ARE REQUIRED AT SHEAR WALLS IDENTIFIED ON PLAN.
  - METAL WALL CLADDING SHALL BE ATTACHED OVER RATED SHEATHING AND AS SPECIFIED IN THE GENERAL NOTES AND BELOW:
    - MATERIAL AND SECTION PROPERTIES OF METAL WALL CLADDING SHALL BE AS SPECIFIED IN THE GENERAL NOTES AND BELOW:
      - Gauge = 26, Fy = 80KSI, Ix = 0.0130 in<sup>4</sup>/ft, Sxcp = 0.0215 in<sup>3</sup>/ft, Sxot = 0.0238 in<sup>3</sup>/ft
      - 9" OC MAJOR RIB SPACING
      - WALL ATTACHMENT PATTERN
      - FIELD: (1) #10 x 1" ADJACENT TO EACH MAJOR RIB (9" OC) AT 24" OC
      - END: (2) #10 x 1" ADJACENT TO EACH MAJOR RIB (4 1/2" OC)
      - FOR FASTENING PATTERN DIAGRAM REFER TO 3/S1.2
  - THE FOLLOWING DETAILS WHICH MAY NOT BE SPECIFICALLY REFERENCED ON PLAN ALSO APPLY TO THIS PLAN:

HOUSEKEEPING PADS (RE: MECH FOR LOCATION)	2/S3.1
EXTERIOR EQUIPMENT PAD	1/S3.1
FOUNDATION WALL CORNER REINFORCEMENT	3/S3.1
SLAB-ON-GRADE CONSTRUCTION/CONTROL JOINTS	4/S3.1
REBAR LAP SPLICE SCHEDULE (CAST-IN-PLACE CONCRETE)	10/S3.1
SLAB-ON-GRADE ISOLATION JOINTS	12/S3.1
WOOD FRAMING AT CORNERS	4/S3.2

#### KEYED PLAN NOTES - FOUNDATION

KEYNOTE	KEYNOTE TEXT
01	RETURN BRICK LEDGE 1'-0" TO THE SOUTH
03	EXTEND LONGITUDINAL REBAR FROM WALL FOOTING 4'-0" INTO FOOTING PAD
04	DENOTES HOLDOWN AT POST BASE, TYPICAL, REFER TO HOLDOWN SCHEDULE ON S3.3 FOR SPECIFICATION
05	POSTS AT BEARING WALL OPENINGS SHALL HAVE PLIES FASTENED PER DETAIL 7/S3.3

- WX** BEARING WALL  
 • FOR STUD SIZE AND SPACING, REFER TO PLAN AND WOOD WALL SCHEDULE 1/S3.2
- W2** SHEAR WALL  
 • FOR STUD SIZE AND SPACING, RE: PLAN AND SCHEDULE  
 • FOR SHEATHING, NAILING, AND ANCHORAGE, RE: 1/S3.3
- ENGINEERED LUMBER STUDS (LSL/LVL)**  
 • REFER TO PLAN AND WOOD WALL SCHEDULE 1/S3.2



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**1 MAIN LEVEL PLAN**  
 PLAN VIEW | 3/32" = 1'-0"



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DATE:	08/12/2024
REVISIONS:	NO. DESCRIPTION: 1 ADD #3

**MAIN LEVEL PLAN**

FULL SCALE: 22x34  
 HALF SCALE: 11x17  
 DRAWING MAY NOT BE PRINTED TO SCALE

PROJECT NO.  
 OSE#: M2319-10X

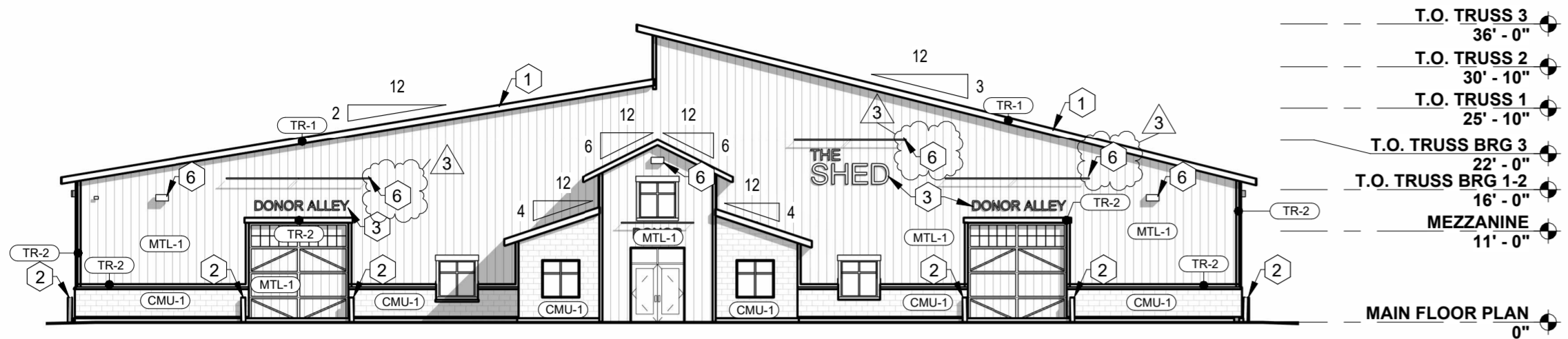
**LIVESTOCK PLAZA/SHEEP BARN**

Huron, SD

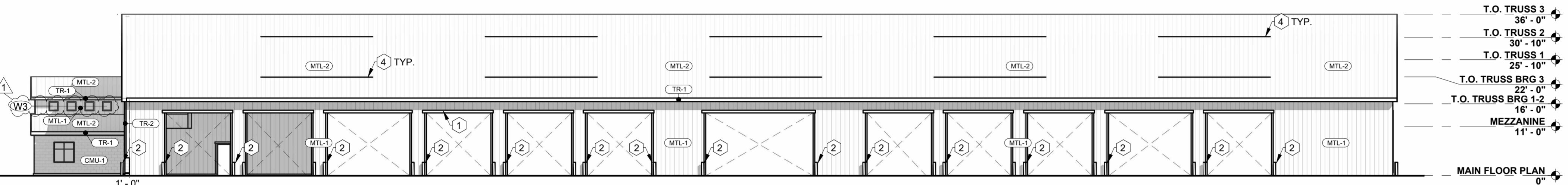
PROJECT MANAGER:  
 MICHAEL KONRAD

DATE:  
 07.19.2024

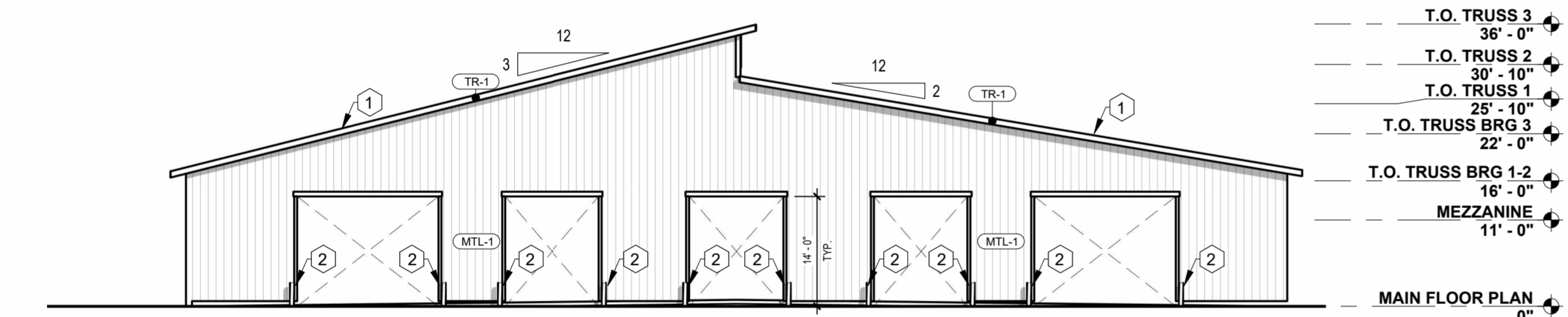
SHEET:  
**S1.1**



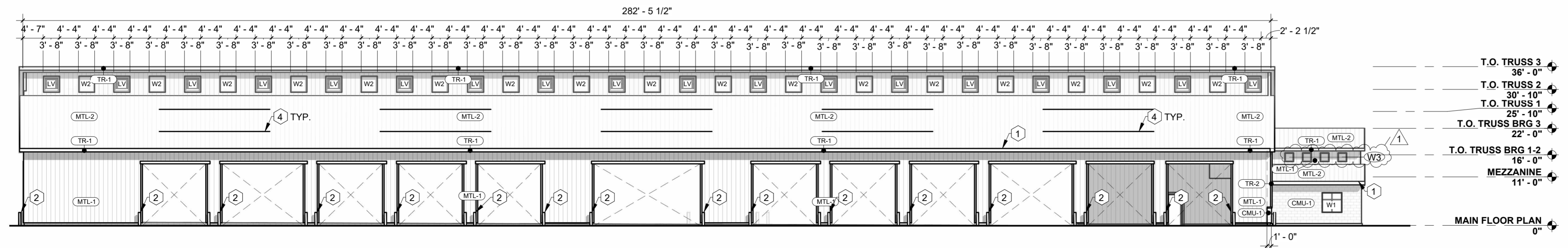
**1 BUILDING ELEVATION - NORTH**  
1/16" = 1'-0"



**2 BUILDING ELEVATION - EAST**  
1/16" = 1'-0"



**3 BUILDING ELEVATION - SOUTH**  
1/16" = 1'-0"



**4 BUILDING ELEVATION - WEST**  
1/16" = 1'-0"

EXTERIOR MATERIALS SCHEDULE	
MARK	MATERIAL DESCRIPTION
CMU-1	SPLIT FACE CMU VENEER
MTL-1	METAL LINER PANEL
TR-1	WD. TRIM
TR-2	METAL TRIM

**GENERAL NOTES - BUILDING ELEVATIONS**

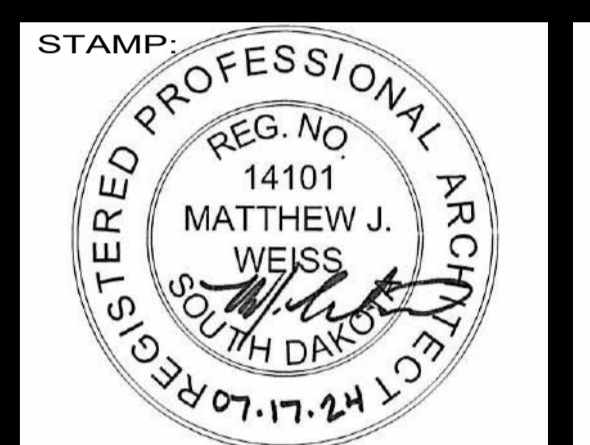
- A. EXTERIOR LIGHTING INDICATED FOR PLACEMENT ONLY. SEE ELEC. FOR LIGHTING SPECIFICATIONS.
- B. SEE SPECIFICATIONS FOR FULL REQUIREMENTS FOR EXTERIOR BUILDING MATERIALS. MATERIALS INDICATED GENERICALLY ON PLANS FOR CLARITY.

**KEYNOTES - BUILDING ELEVATIONS**

- 1. WOOD TRIM, PAINT TO MATCH METAL TRIM.
- 2. PIPE BOLLARD, PAINT HIGH VISIBILITY YELLOW.
- 3. SIGNAGE, (SEE ELEC.) FOR LIGHTING REQUIREMENTS. SIGNAGE PROVIDED AND INSTALLED BY OWNER.
- 4. SNOW GUARDS, (SEE SPEC'S)
- 5. METAL LOUVER, (SEE MECH.)
- 6. LIGHTING, (SEE ELEC.)



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NO.	DESCRIPTION:	DATE:
1	Addendum #1	8/6/24
2	Addendum #2	8/7/24
3	Addendum #3	8/12/24

**BUILDING ELEVATIONS**  
SHEET NAME:  
FULL-SCALE: 22x34  
HALF-SCALE: 11x17  
DRAWING MAY NOT BE PRINTED TO SCALE

PROJECT NO.  
OSE#: M2319-10X  
SD STATE FAIR

**LIVESTOCK PLAZA/SHEEP BARN**

HURON, SD

PROJECT MANAGER:  
NICK KUMMER

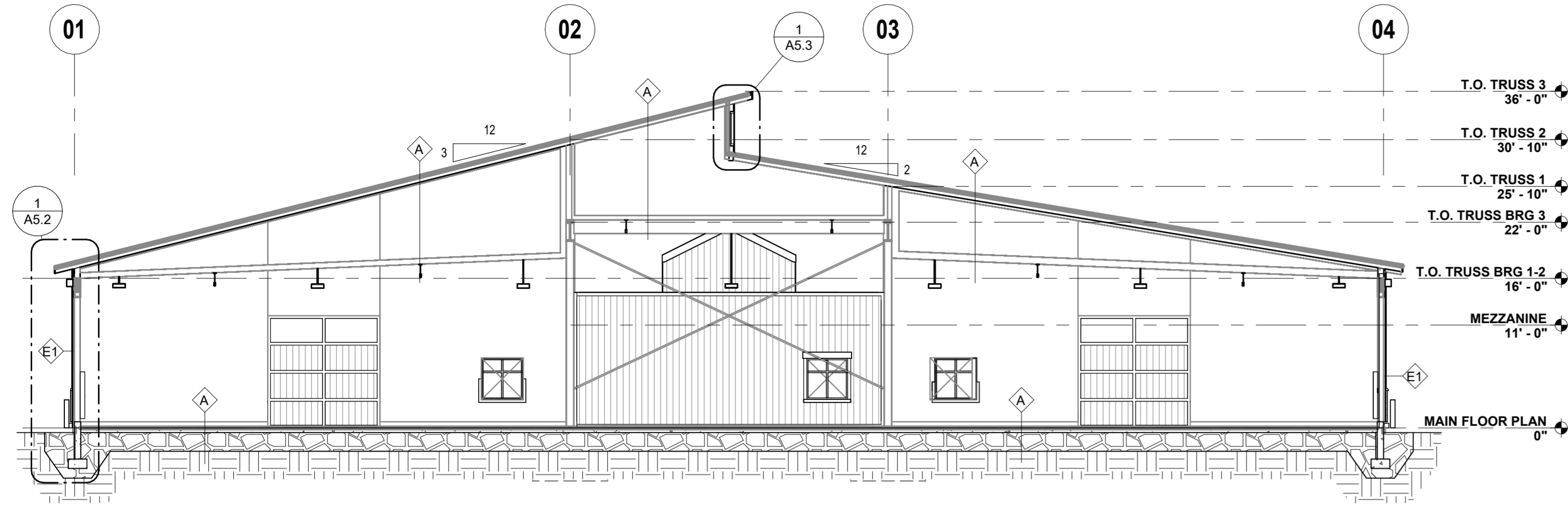
DATE:  
07.17.2024

SHEET:

**A4.1**

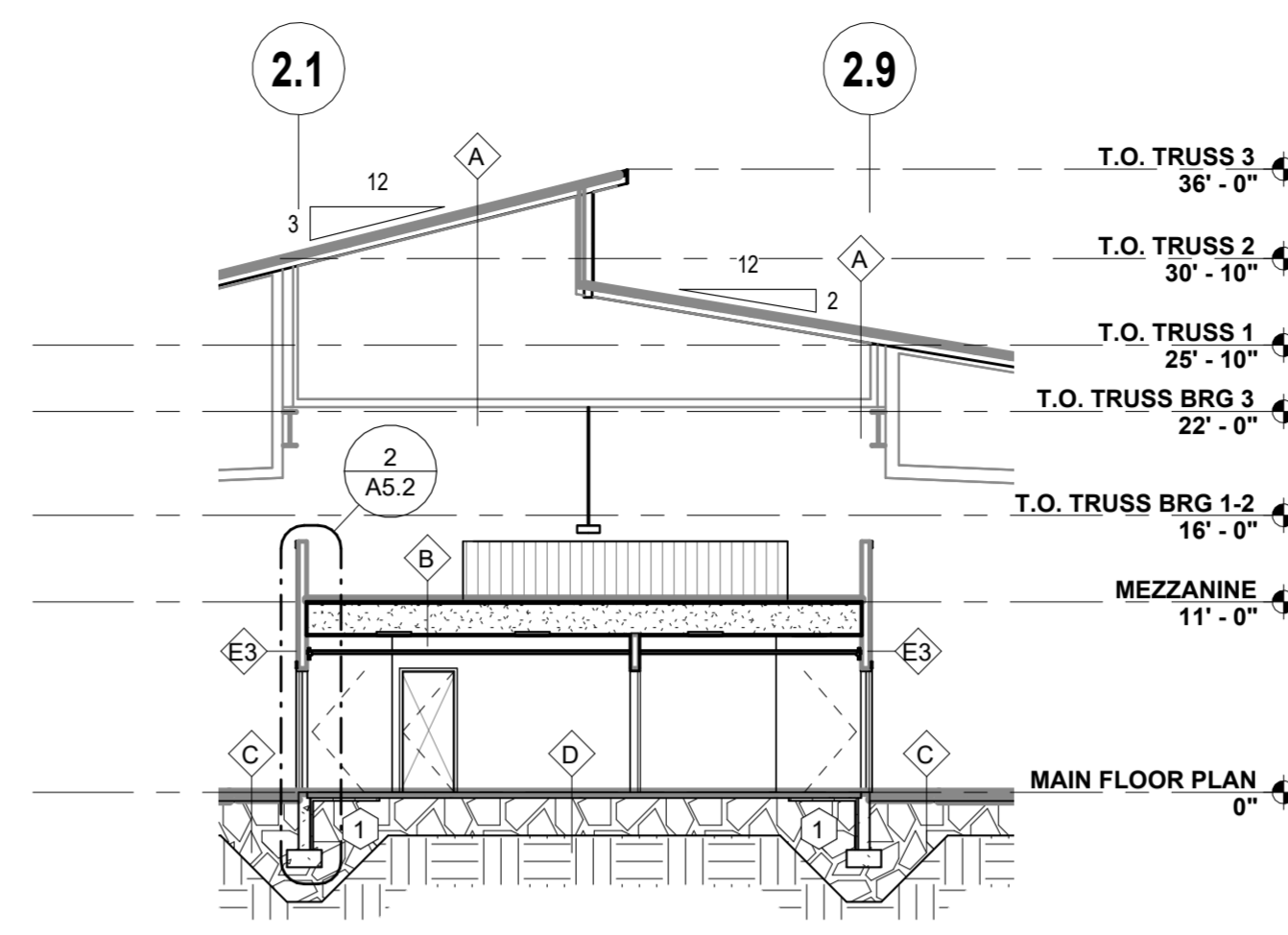
KEYNOTES - SECTIONS

1. PROVIDE R-10 INSULATION ON INTERIOR OF CONC. STEM WALL FROM T.O. FTG. TO TOP OF STEM WALL. PROVIDE R-10 RIGID INSULATION BELOW CONC. FLOOR SLAB FOR FIRST 48" BEYOND INTERIOR OF CONC. STEM WALL AS SHOWN.



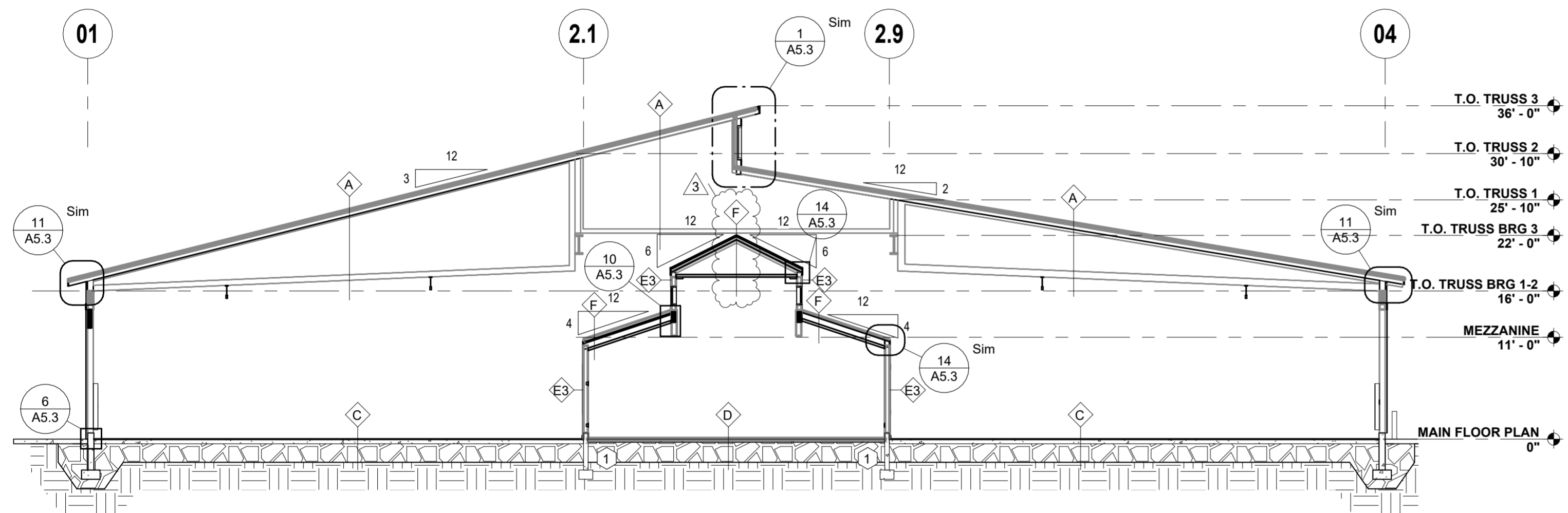
**1 BUILDING SECTION - SHOW AREA**

3/32" = 1'-0"



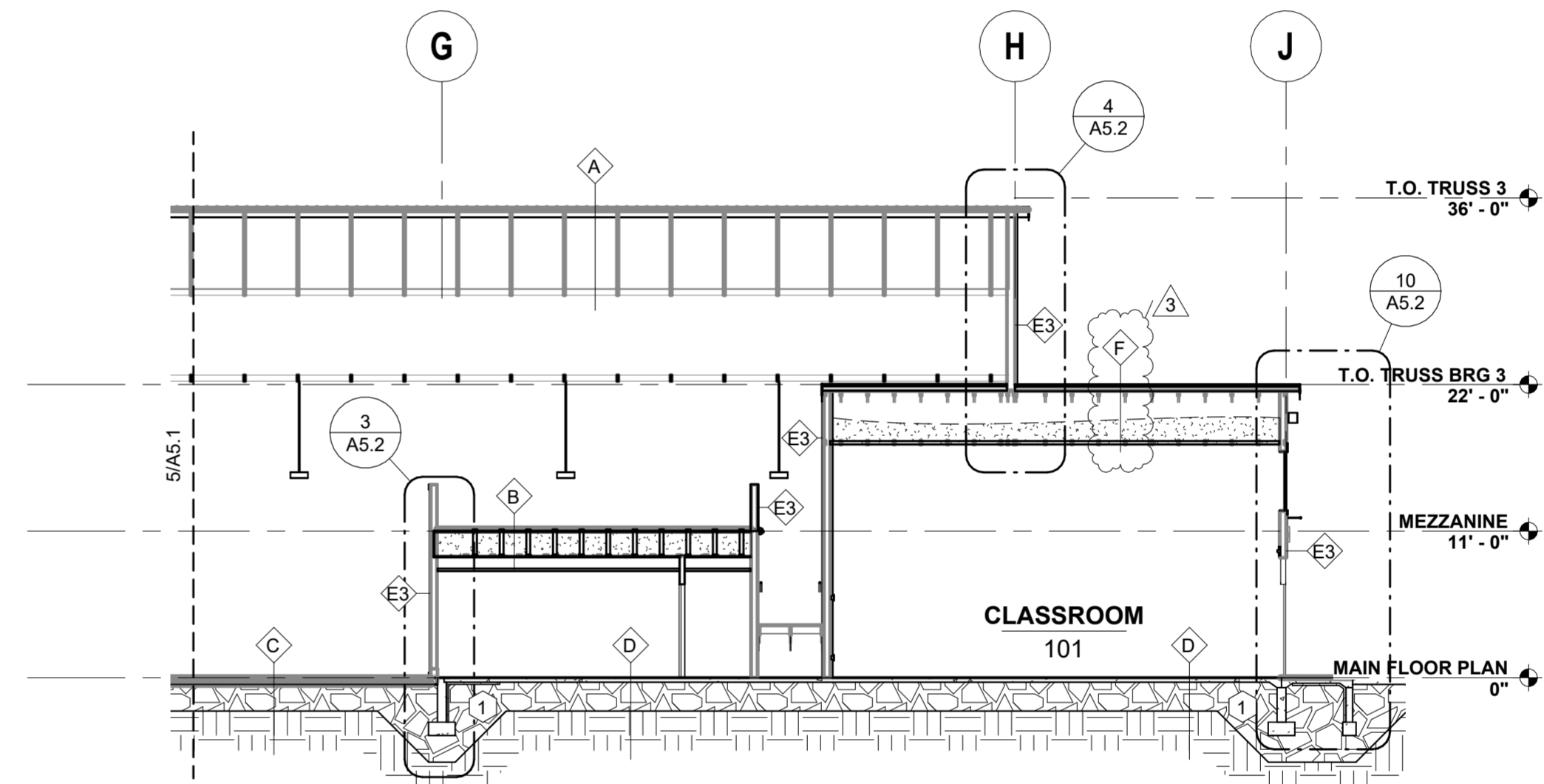
**2 BUILDING SECTION - RESTROOMS**

3/32" = 1'-0"



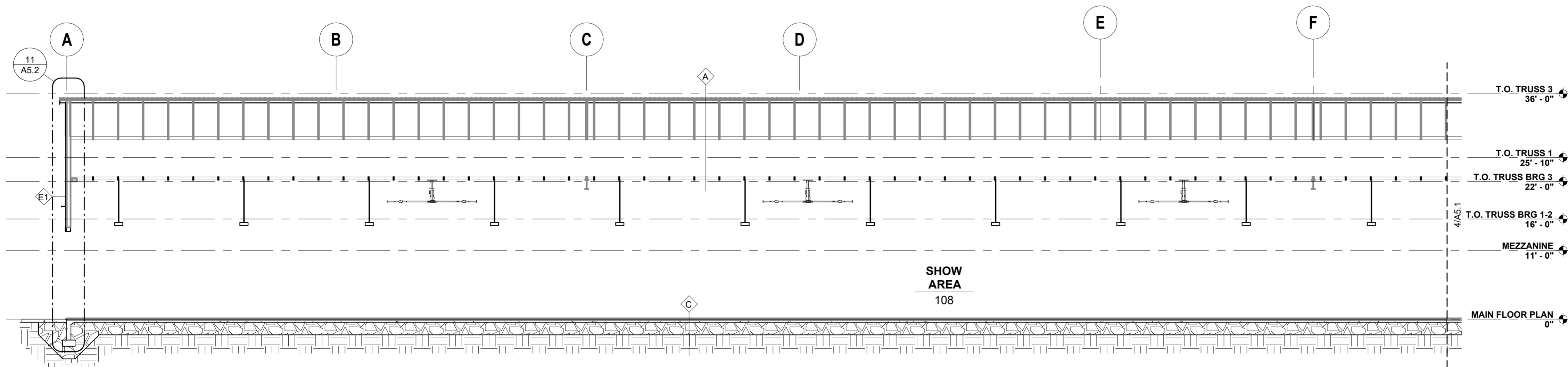
**3 BUILDING SECTION - SHOW AREA & CLASSROOM**

3/32" = 1'-0"



**4 LONGITUDINAL BUILDING SECTION "A"**

3/32" = 1'-0"



**5 LONGITUDINAL BUILDING SECTION "B"**

3/32" = 1'-0"

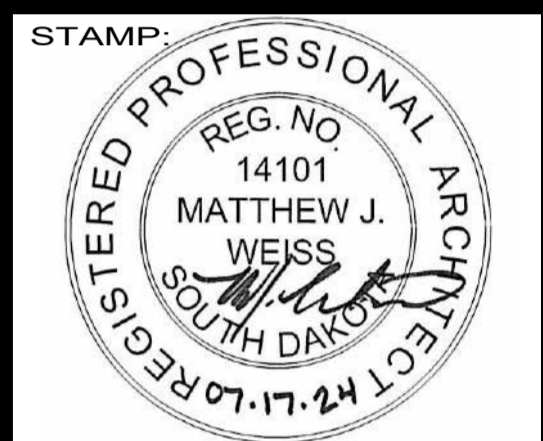


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DATE: 8/12/24

REVISIONS:  
NO. DESCRIPTION:  
3 Addendum #3

SHEET NAME:  
**BUILDING SECTIONS**

PROJECT NO.  
OSE#: M2319-10X  
SD STATE FAIR

LIVESTOCK PLAZA/SHEEP BARN

HURON, SD

PROJECT MANAGER:  
NICK KUMMER

DATE:  
07.17.2024

SHEET:

**A5.1**

FULL-SCALE: 22x34  
HALF-SCALE: 11x17  
DRAWING MAY NOT BE PRINTED TO SCALE