

ADDENDUM NO. 1
TO GENERAL, MECHANICAL AND ELECTRICAL
PLANS AND SPECIFICATIONS
HOLGATE MIDDLE SCHOOL PUMP HOUSE RENOVATION
ABERDEEN PARKS, RECREATION & FORESTRY
ABERDEEN, SOUTH DAKOTA

Addendum Dated: May 20, 2022

Original Plans and Specifications Dated: May 5, 2022

SCOPE OF THIS ADDENDUM: The following becomes a part of the original plans and specifications, taking precedence over the items that may conflict. The bidder shall not receipt and make acknowledgement of the addendum on his bid form, incorporating its provision in his bid.

SPECIFICATION CHANGES AND CLARIFICATIONS:

1. Front End Documents

1. Bidders are to include attached Specification and Contract Documents supplied by Aberdeen Parks, Recreation and Forestry Department (27 Pages). Delete appropriate sections issued by HKG Architects in Specification and Contract Documents Dated May 5, 2022.

PLAN CHANGES AND CLARIFICATIONS

Plan Sheet A1 & A2:

1. Revised Sheets A1 & A2 to included exterior elevation and floor plan dimensions. Eliminate W3 wall type.

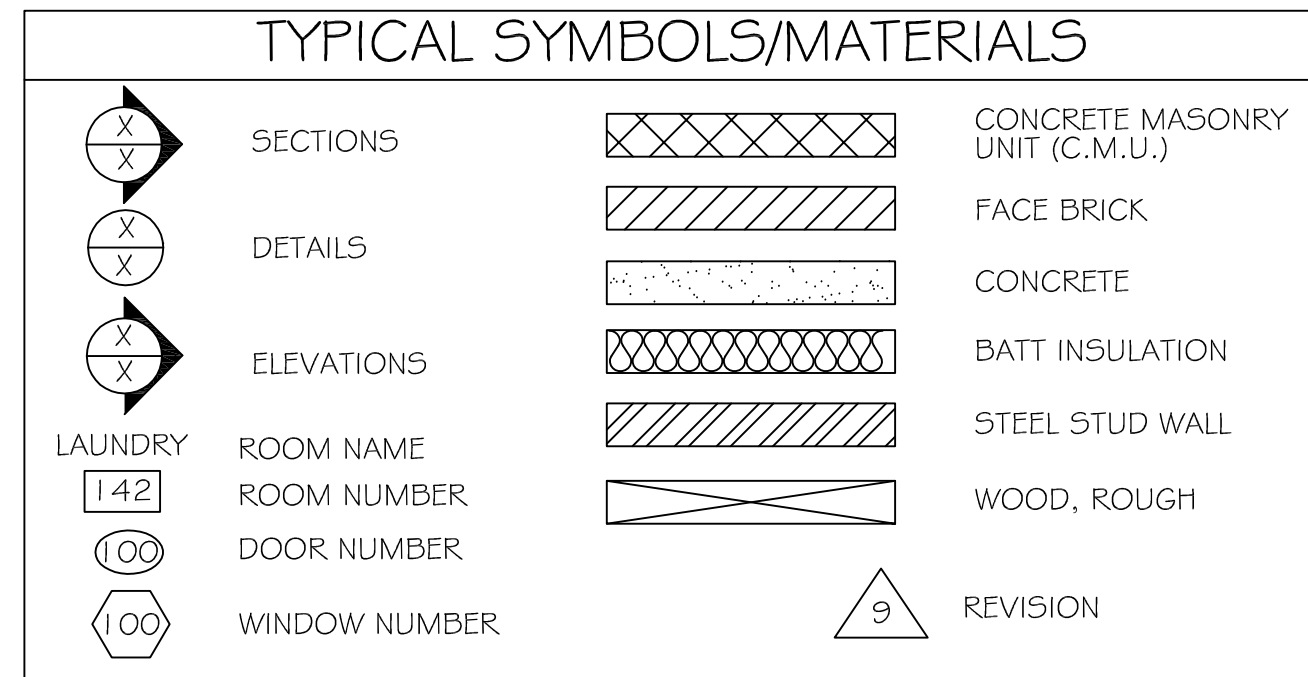
Plan Sheet A2:

1. Floor Plan and Wall Types, Delete Wall Type W3, Wall Type W2 applies. There is no Plumbing Chase.
2. CMU Walls to extend to GPDW ceiling @ 9'-0".

HKG ARCHITECTS, INC.
ARCHITECTS, AIA
ABERDEEN, SOUTH DAKOTA

INDEX TO DRAWINGS	
SHEET	CONTENTS
A1	TITLE SHEET, EXTERIOR ELEVATIONS
A2	FIRST FLOOR PLAN, DEMOLITION PLAN, DETAILS, REFLECTED CEILING PLAN, SCHEDULES
M1-x	MECHANICAL PLANS
E1-x	ELECTRICAL PLANS

ALTERNATES	
#	DESCRIPTION
1	REMOVE AND REPLACE DOORS 101, 106 & 107.
2	REMOVE DOORS 104 & 105 IN THEIR ENTIRETY. FILL OPENING IN WITH WALL TYPE W1.
3	EIFS OVER ALL EXTERIOR EXISTING AND NEW WALLS.



ABBREVIATIONS

AFF ABOVE FINISHED FLOOR AP ACCESS PANEL ACT ACoustical CEILING TILE A/C AIR CONDITIONING ANCH ANCHOR BOLT ALT ALTERNATE AL ALUMINUM L ANGLE APX APPROXIMATE ARCH ARCHITECT (URAL) BSMT BASEMENT BM BEAM OR BENCHMARK BRG BEARING BPL BEARING PLATE BT BRITANNIUS BLK BLOCK BLKG BLOCKING BRK BRICK BLDG BUILDING CAB CABINET (ED) CPT CARPET (ED) CSMT CASEMENT CI CAST IRON CB CATCH BASIN CLG CELING CL CENTERLINE COL COLUMN CONC CONCRETE CMU CONCRETE MASONRY UNIT CONST CONSTRUCTION CONT CONTINUOUS CONTR CONTRACTOR CNT CONTROL JOINT	DL DEAD LOAD SA EACH EF EACH FACE EW EACH WAY ELEC ELECTRIC (AL) EWC ELECTRIC WATER COOLER EL ELEVATION EOV EQUAL EQ EQUIPMENT EXIST EXISTING EXP EXPANSION EXB EXPANSION BOLT EJ EXPANSION JOINT EXT EXTERIOR FB FACE BRICK FOC FACE OF CONCRETE FOM FACE OF MASONRY FOS FACE OF STUDS FM FINISH FFE FINISH FLOOR ELEVATION	FRBK FIRE BRICK FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FP FIRE PROOF FLG FLASHING FLR FLOOR (NG) FD FLOOR DRAIN FNG FLOOR (NG) FT FOOT FTG FOOTING FH FOUNDATION FRA FRESH AIR FBO FURNISHED BY OTHERS FUR FURRED (ING) FUT FUTURE GALV GALVANIZED GI GALVANIZED IRON GA GAUGE GC GENERAL CONTRACTOR ELEC ELECTRIC (AL) GB GRAB BAR GRADE (ING) GPW GYPSUM DRYWALL HDW HARDWARE HDR HEADER HGT HEATING HVAC HEATING/VENTILATING/AIR CONDITIONING HD HEAVY DUTY HT HEIGHT HC HOLLOW CORE HM HOLLOW METAL HR HORIZONTAL HRB HOSE BIB HRH HOT WATER HEATER HR HOUR	ID INSIDE DIAMETER INS INSULATE (D), (ON), (NG) INT INTERIOR JT JOINT JO JOIST LB LAG BOLT LAM LAMINATE (ED) LAV LAVATORY LH LEFT HAND L LENGTH LL LIGHT LL LIVE LOAD LLH LONG LEG HORIZONTAL LLV LONG LEG VERTICAL LVR LOUVER MFR MANUFACTURER MAS MASONRY MO MASONRY OPENING MTL MATERIAL (S) MAX MAXIMUM MC MEDICINE CABINET MBR MEMBER MED MEDIUM MMB MEMBRANE MET METAL M=L MICROLAM MIN MINIMUM MIRROR MIRROR MSC MISCELLANEOUS MLD MOLDING MT MOUNT (ED), (ING) MULL MULLION N NORTH NOM NOMINAL NIC NOT IN CONTRACT NTS NOT TO SCALE NO NUMBER OC ON CENTER OPP OPPOSITE OSB ORIENTED STRAND BOARD OD OUTSIDE DIAMETER GA OVERALL OH OVERHEAD TOE TOP OF BLOCK TOS TOP OF STEEL T TREAD TYP TYPICAL UNF UNFINISHED UNP UNPAPER TOWEL DISPENSER PAR PAPER TOWEL RECEPTOR PAR PARALLEL PBD PARTIAL BOARD PRTN PARTITION PAVT PAVEMENT PERF PERFORATE (ED) PERI PERIMETER PLAS PLASTER PLAM PLASTIC LAMINATE PL PLATE PLBG PLUMBING +/- PLUS OR MINUS PWD PLYWOOD PT POINT LBS POUNDS PSI POUND PER SQUARE INCH PRECAST PRECAST PREFIN PREFINISHED QU QUARRY TILE	RAD RADIUS REF REFRIGERATOR REINF REINFORCE (D), (NG), (MENT) REQ'D REQUIRED RA RETURN AIR REV REVERSE REV REVISION RH RIGHT HAND ROW RIGHT OF WAY R ROOF RD ROOF DRAIN ROOM ROOM RO ROUGH OPENING SND SANITARY NAPKIN DISPENSER SNE SANITARY NAPKIN RECEPTOR SCH SCHEDULE SEC SECTION SHEET SHEET SHT SHEATHING SIM SIMILAR SC SOLID CORE SABI SOUND ATTENUATING BATT INSULATION SP SOUNDPROOF S SOUTH SPK SPEAKER SPEC SPECIFICATION (S) SQ SQUARE SS STAINLESS STEEL STD STANDARD ST STEEL SJ STEEL JOIST STO STORAGE STR STRUCTURAL SUS SUSPENDED SYM SYMMETRICAL SYS SYSTEM TACK BOARD TKS TACK STRIP TEL TELEPHONE TEL TELEVISION TZ TERRAZZO THK THICK (NESS) THR THRESHOLD TPTN TONGUE PARTITION TPD TOLLET PAPER DISPENSER T&G TONGUE AND GROOVE TOB TOP OF BLOCK TOS TOP OF STEEL T TREAD TYP TYPICAL UNF UNFINISHED UNP UNPAPER TOWEL DISPENSER PAR PAPER TOWEL RECEPTOR PAR PARALLEL PBD PARTIAL BOARD PRTN PARTITION PAVT PAVEMENT PERF PERFORATE (ED) PERI PERIMETER PLAS PLASTER PLAM PLASTIC LAMINATE PL PLATE PLBG PLUMBING +/- PLUS OR MINUS PWD PLYWOOD PT POINT LBS POUNDS PSI POUND PER SQUARE INCH PRECAST PRECAST PREFIN PREFINISHED QU QUARRY TILE
--	---	---	---	--

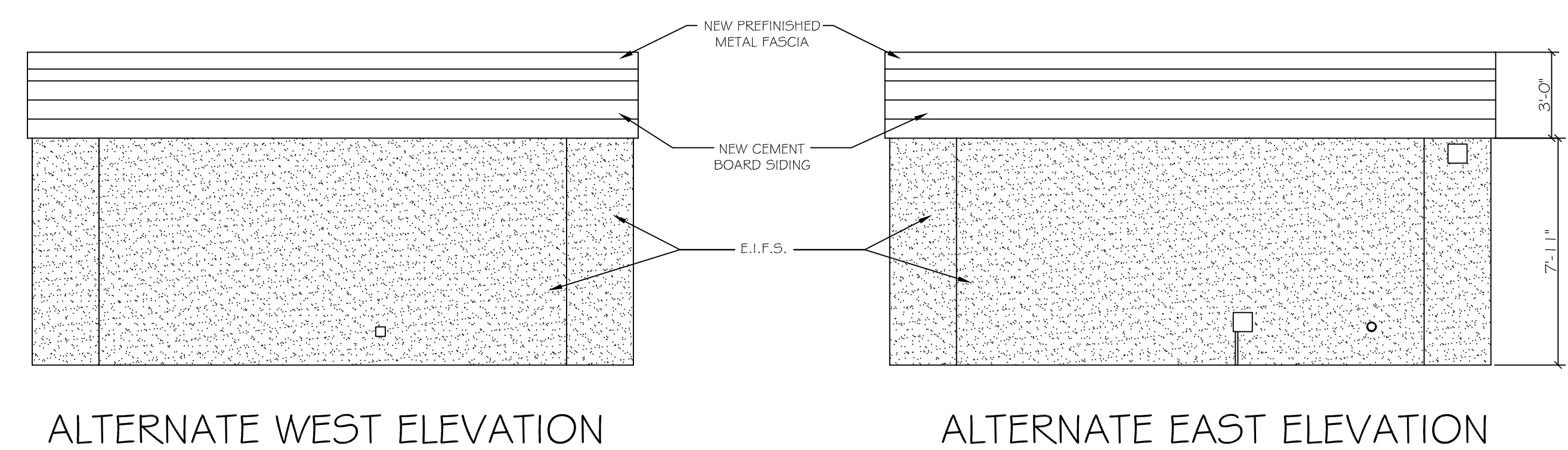
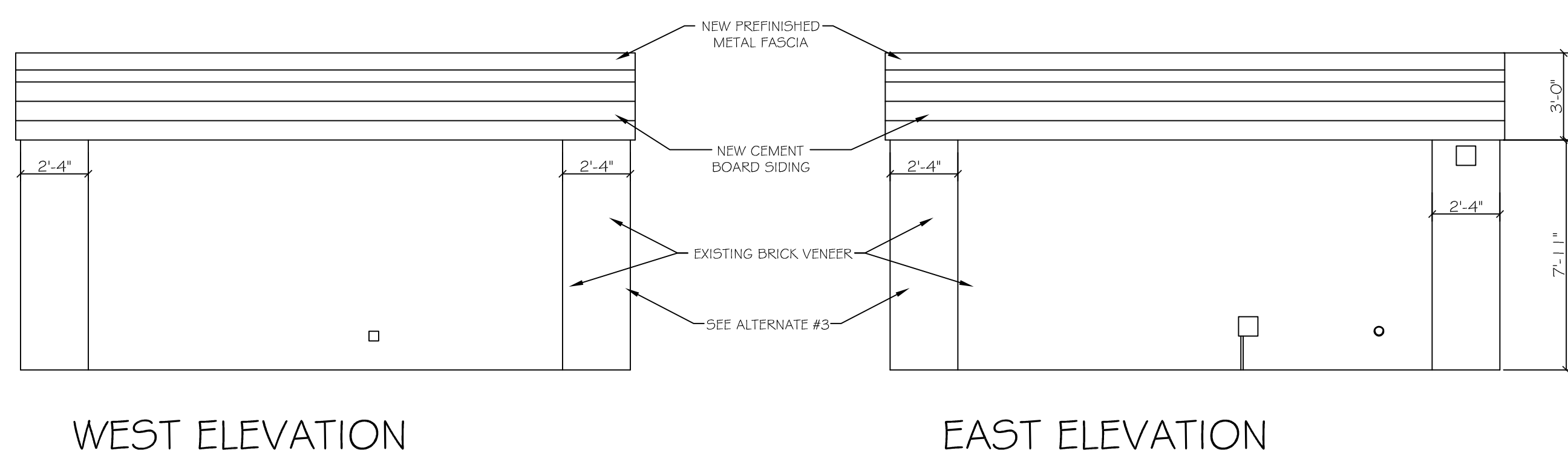
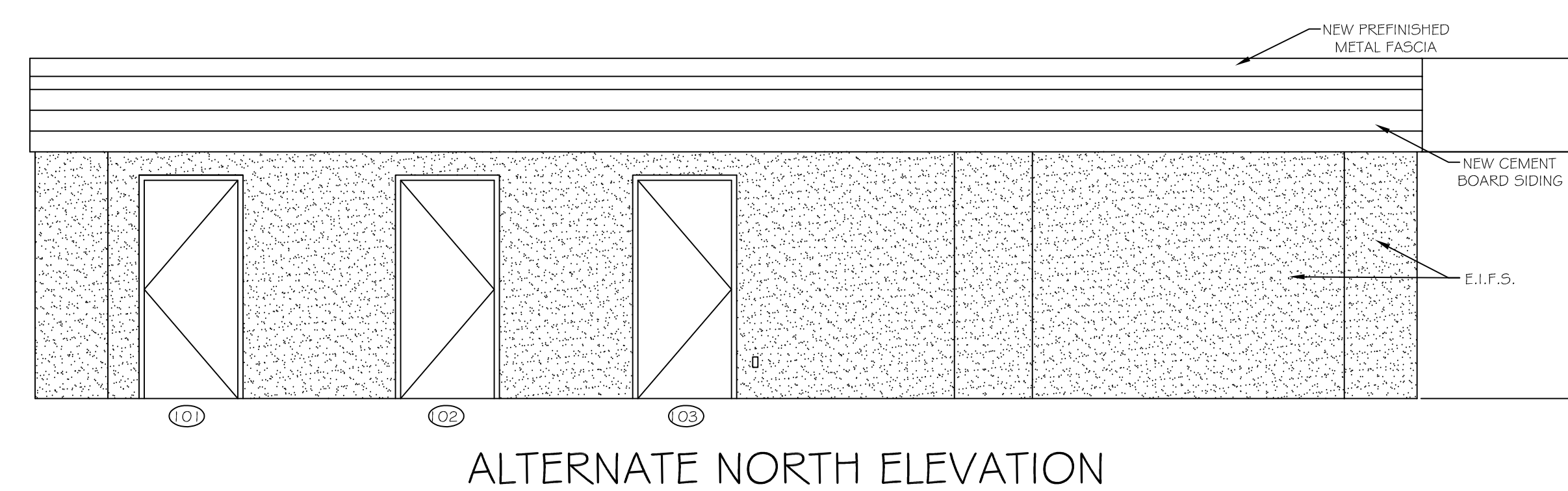
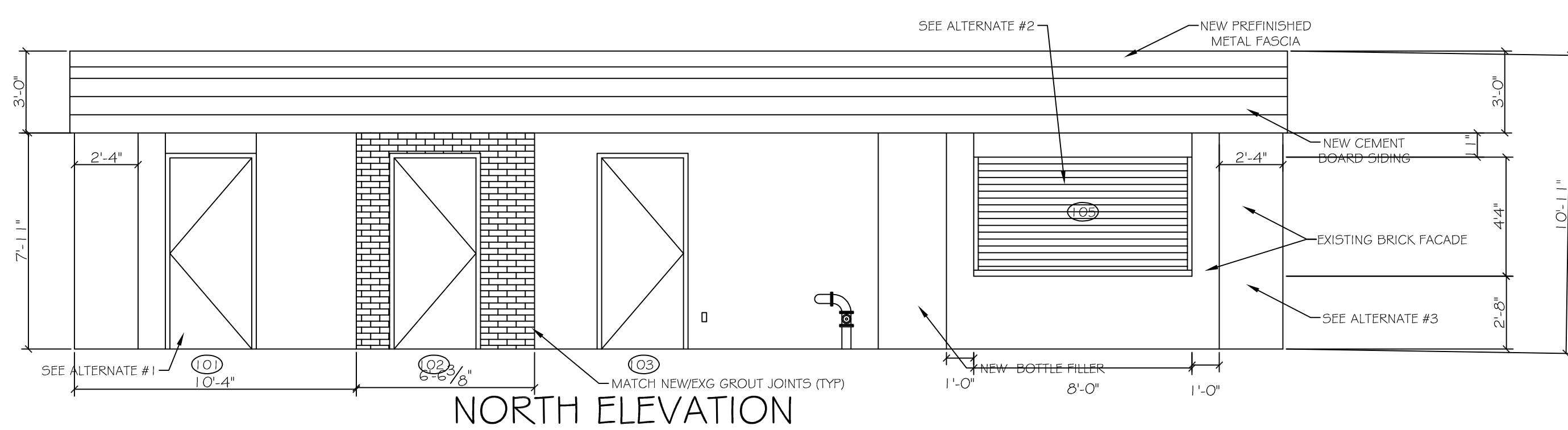
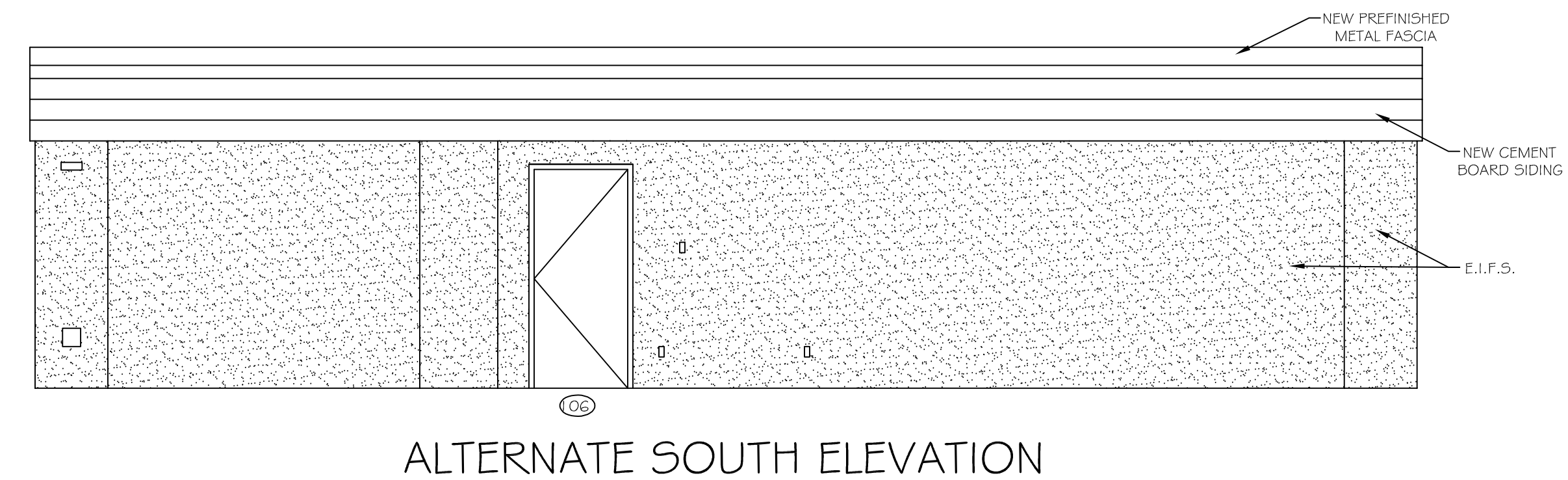
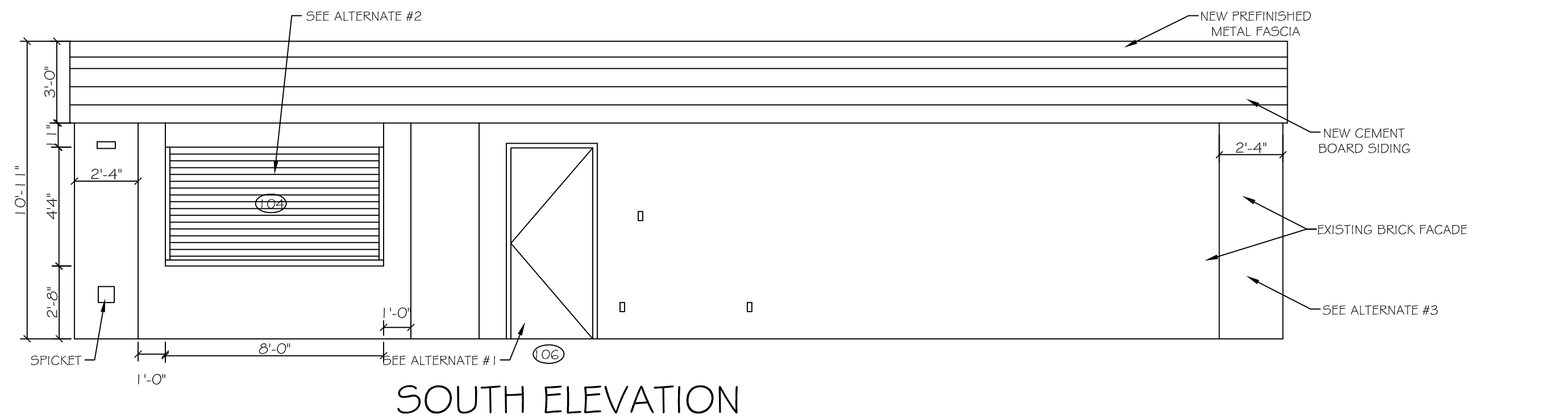
HOLGATE MIDDLE SCHOOL PUMP HOUSE RENOVATION ABERDEEN, SOUTH DAKOTA

PROJECT DIRECTORY

ARCHITECT:



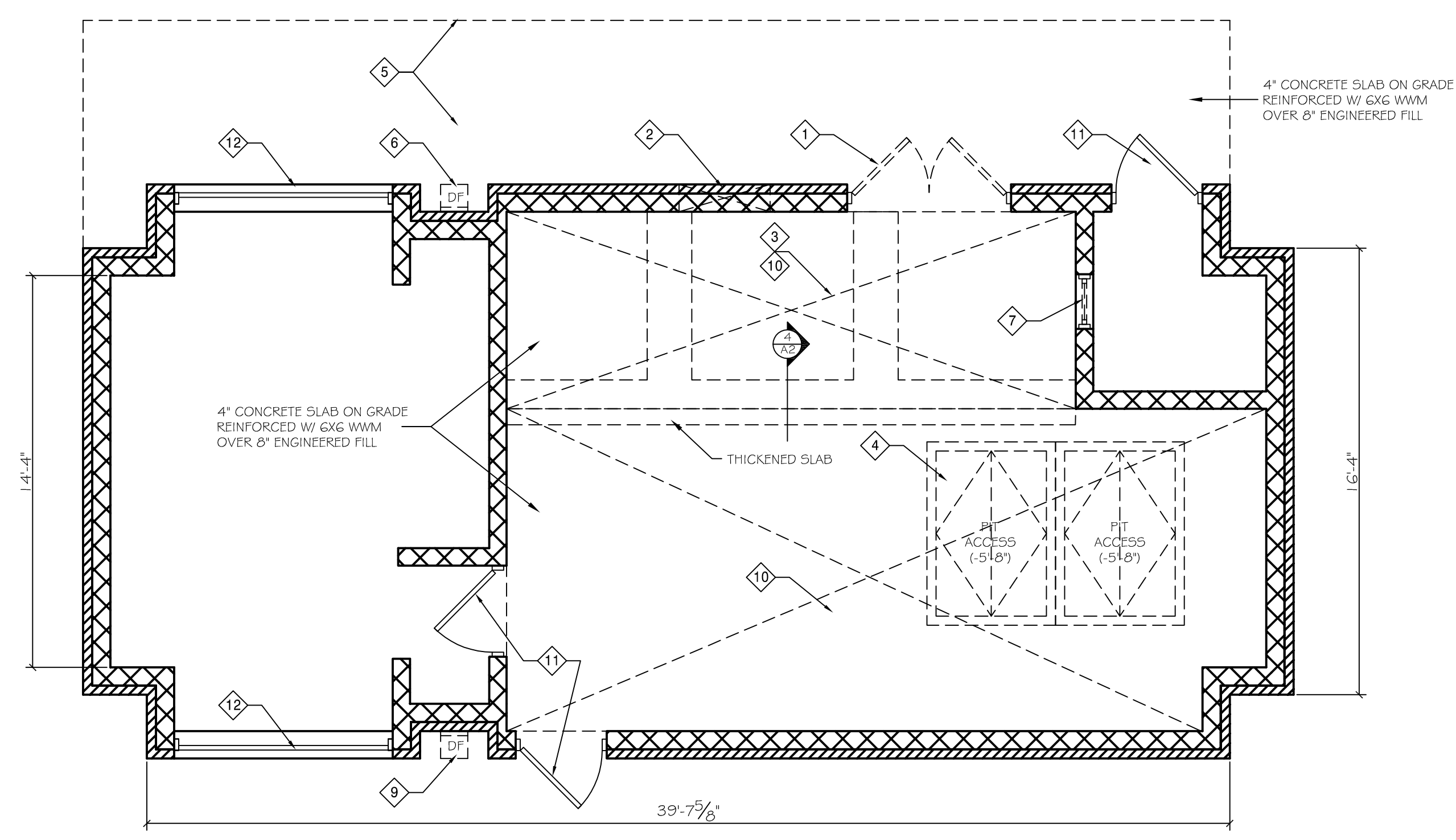
HKG ARCHITECTS, INC.
524 S. ARCH ST., P.O. BOX 55
ABERDEEN, SD 57402-0055
(605) 225-6820
FAX: (605) 225-7770



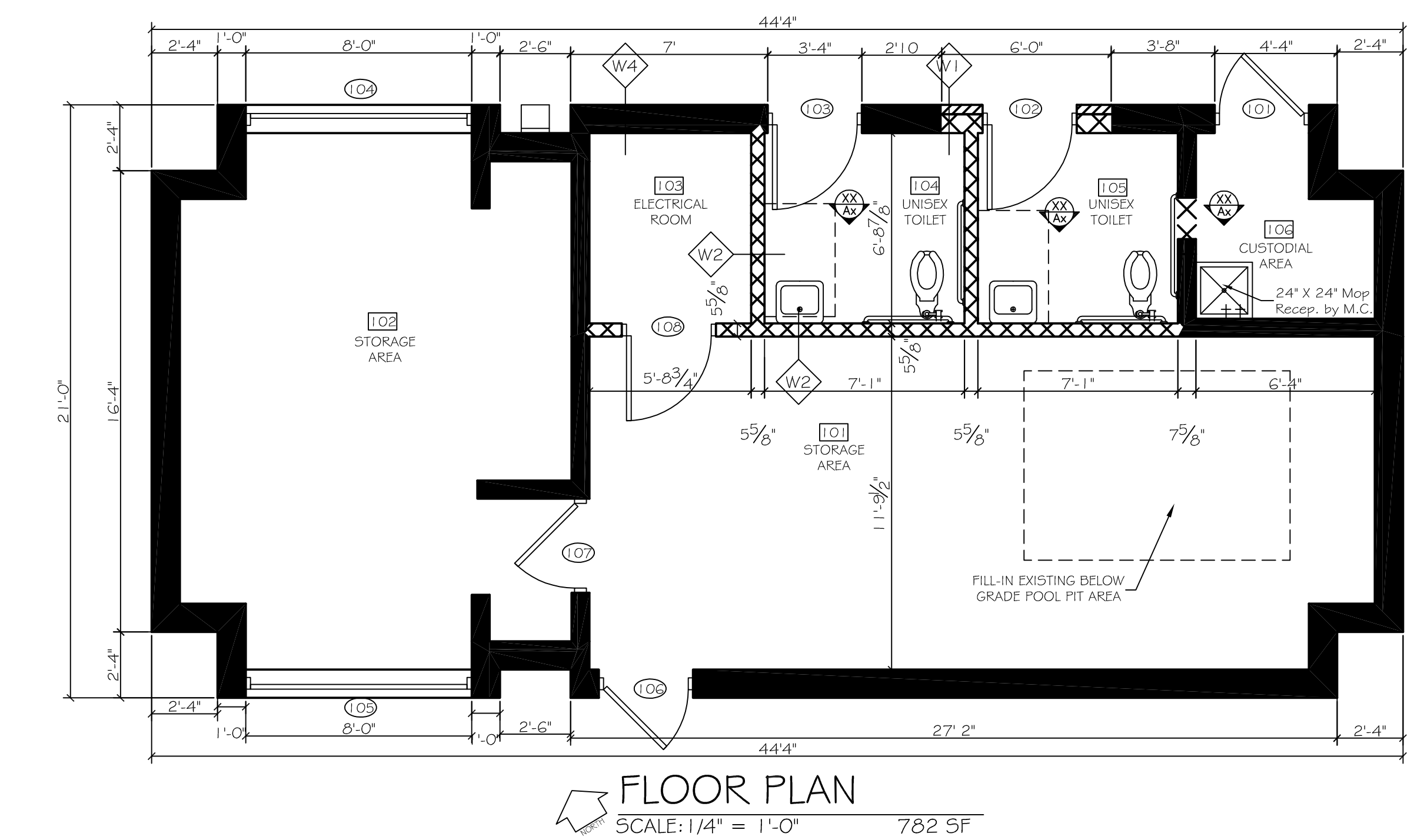
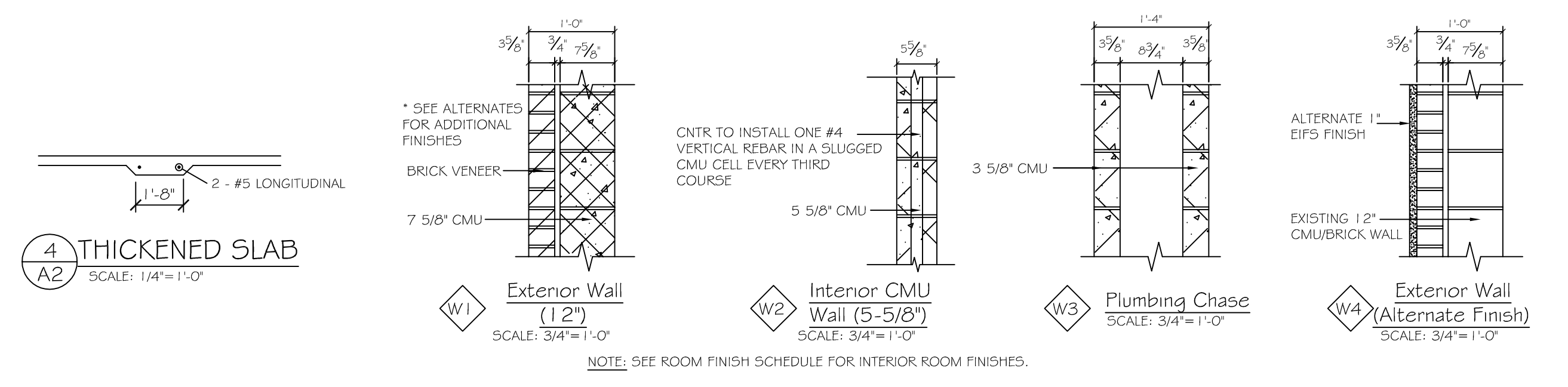
REVISION DATE C-116	Plans For: Holgate Middle School Pump House Renovation Aberdeen, SD	Exterior Elevations	DRAWN BY IG TRACED BY DM CHECKED BY DM DATE 05/09/22 PROJECT NO. 2021-00xx	A1 OF x
------------------------	--	---------------------	--	-------------------

DEMOLITION NOTES	
#	ITEM
1	Remove Existing Door and Frame. Patch Floor, Jamb & Head as Required.
2	Cut Opening in Wall for New Opening, Door, Window &/or Frame. Patch Floor, Jamb & Head as Required.
3	Remove Existing Plaster/Gpdw Ceiling
4	GC to Fill Hole & Patch Concrete Floor Where Pool Pump Equipment Was Removed.
5	GC to Remove & Replace Existing Sidewalk.
6	PC to Remove Existing Drinking Fountain.
7	Remove Existing Window and Frame. Patch @ Sill, Jamb & Head as Required to Match Surrounding Area.
8	Patch Opening to Match Existing
9	PC to Remove Existing Drinking Fountain and cap. GC to Patch as Required.
10	GC to Remove & Replace Existing Floor Slab.
11	See Alternate #1.
12	See Alternate #2.

NOTES:
 1) DEMOLITION WORK SHALL BE COORDINATED WITH THE OWNER. SHOULD QUESTIONS ARISE REGARDING THE REMOVAL OF MATERIALS, CONFER WITH THE OWNER & ARCHITECT BEFORE SUCH MATERIAL IS DEMOLISHED. MATERIALS REMOVED BY DEMOLITION SHALL REMAIN THE PROPERTY OF THE OWNER UNLESS OTHERWISE SPECIFICALLY NOTED. MATERIAL THE OWNER DOES NOT WISH TO RETAIN SHALL BE REMOVED AND DISPOSED OF PROPERLY BY THE CONTRACTOR.
 2) CLEAN ALL EXISTING MASONRY WALLS IN CONSTRUCTION AREA AS NEEDED FOR PAINTING AND/OR AS FINISHED PRODUCT.
 4) SEE SPECIFICATIONS & M/E CONSTRUCTION DOCUMENTS FOR OTHER DEMOLITION RELATED NOTES & REQUIREMENTS.



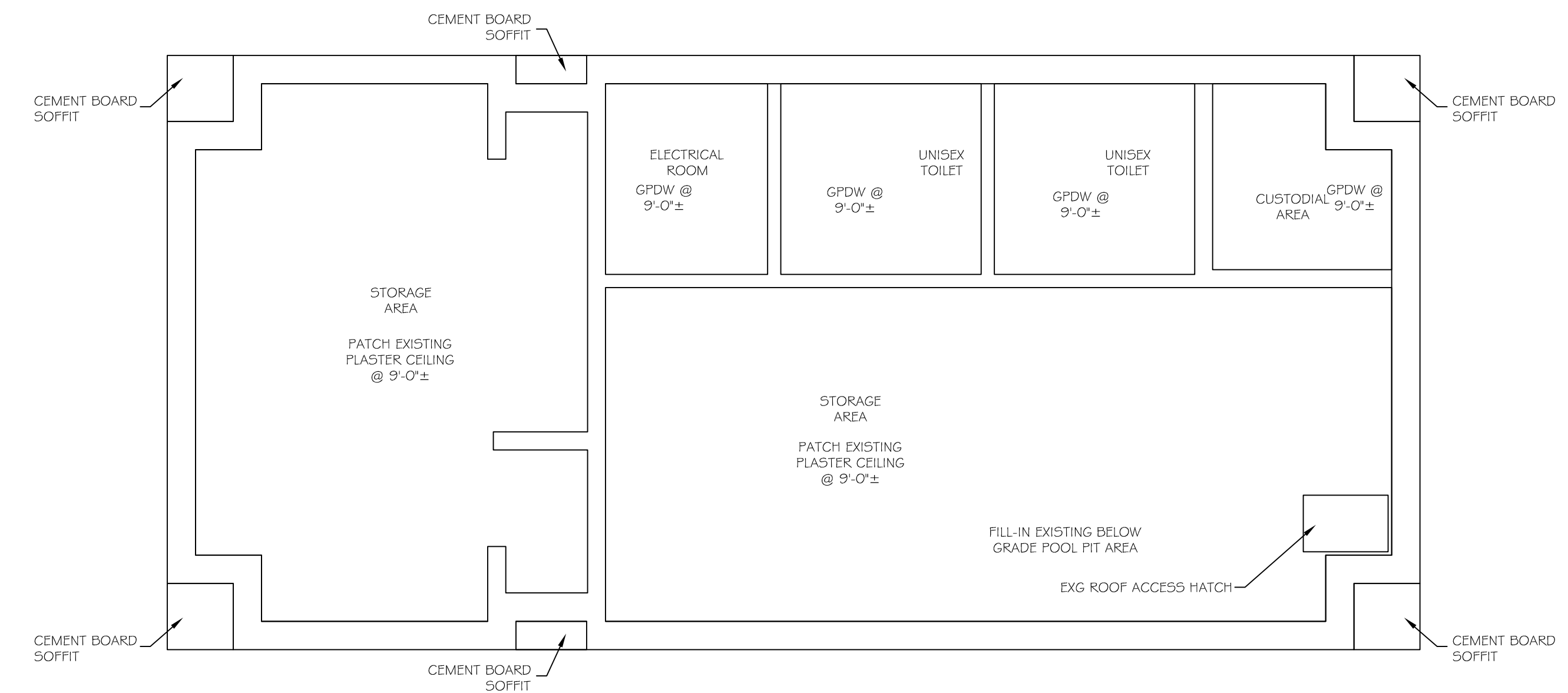
DEMOLITION & CONCRETE PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0" 782 SF

KEY TO SYMBOLS	
SYMBOL	DESCRIPTION
[Symbol]	Surface Mounted Fixture
[Symbol]	Recessed Fixture
[Symbol]	Heat Panel
[Symbol]	Register or Diffuser
[Symbol]	Fire Detector
[Symbol]	Exit Light
[Symbol]	Light Fixture
[Symbol]	Room Number
[Symbol]	Dust Collection

KEY TO WALLS	
SYMBOL	DESCRIPTION
[Symbol]	1- Hour Wall
[Symbol]	2- Hour Wall



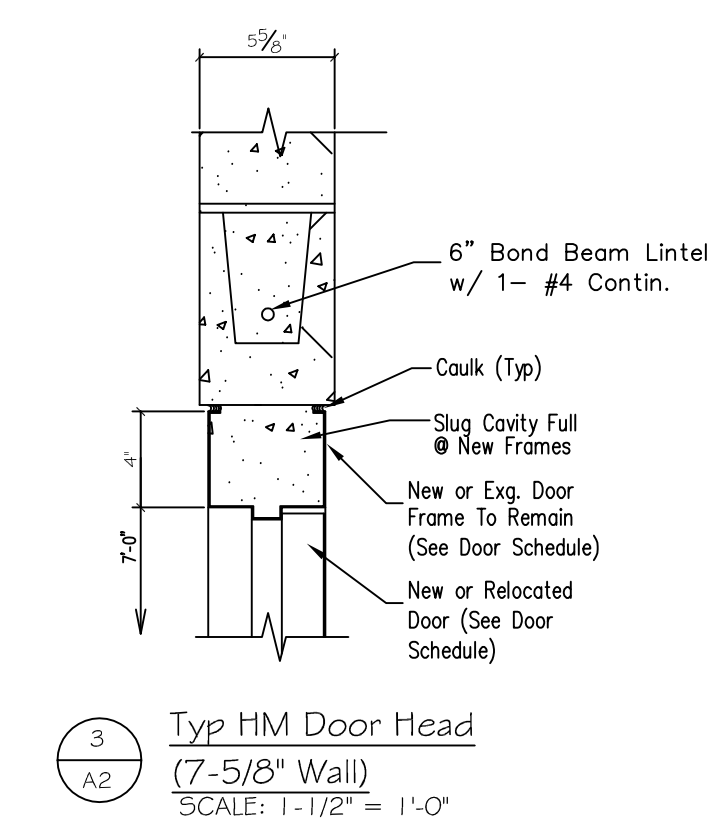
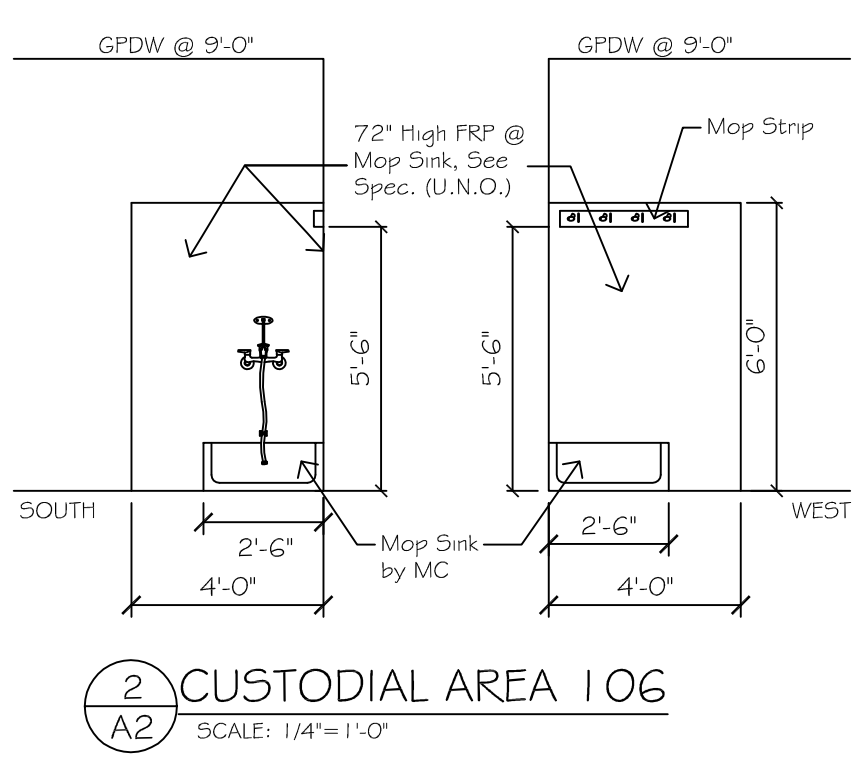
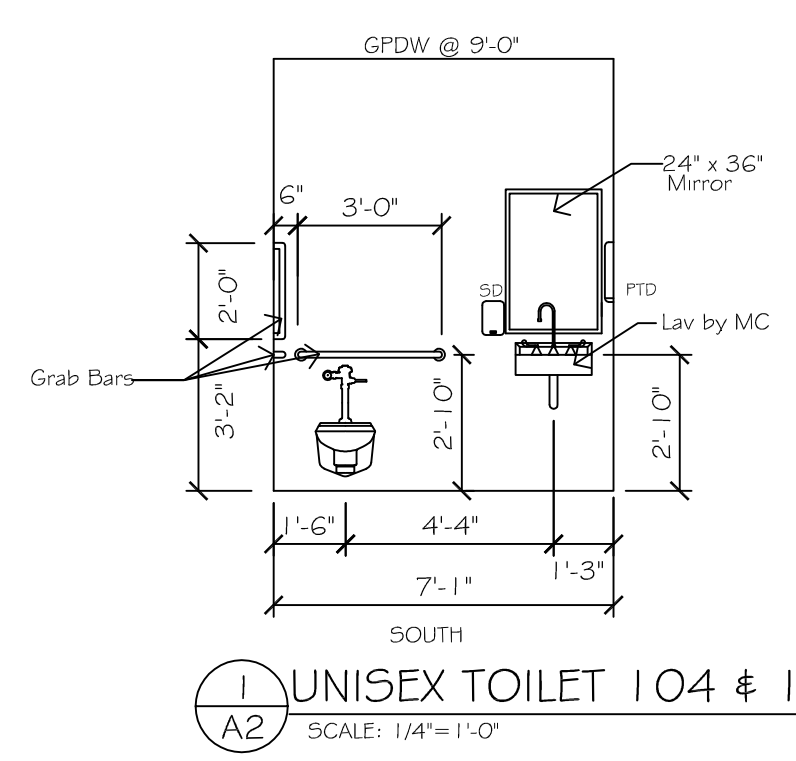
REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

ROOM SCHEDULE									
NUMBER	NAME	FLOOR	BASE	WALLS	CEILING	CLG. HEIGHT	PAINTERS FINISH		REMARKS
							WALLS	CEILING	
101	STORAGE AREA	PATCH EXG GPDW	NONE	CMU	PATCH EXG GPDW	9'-0"	EPOXY	EPOXY	
102	STORAGE AREA	EXG CONC	NONE	CMU	PATCH EXG GPDW	8'-0"	EPOXY	NONE	SEE ALTERNATES
103	ELECTRICAL ROOM	EXG CONC	NONE	CMU	GPDW	9'-0"	EPOXY	EPOXY	
104	UNISEX TOILET	LVT	VINYL	CMU	GPDW	9'-0"	EPOXY	EPOXY	SEE ELEV. 1/A2
105	UNISEX TOILET	LVT	VINYL	CMU	GPDW	9'-0"	EPOXY	EPOXY	SEE ELEV. 1/A2
106	CUSTODIAL AREA	PATCH EXG CONC	NONE	CMU	GPDW	9'-0"	EPOXY	EPOXY	SEE ELEV. 2/A2

GPDW - GYPSUM DRYWALL
 ACT - ACOUSTICAL CEILING TILE
 EN - ENAMEL
 EXP - EXPOSED
 CONC - CONCRETE
 F.H. - FLOOR HARDENER
 EXG - EXISTING
 NOTE #1:

DOOR SCHEDULE									
NUMBER	SIZE	DOOR	GLAZING	FRAME	DETAILS	REMARKS			
							WIDE	HIGH	THICK
101, 106, 107 - EXISTING	3'-0" x 7'-0"	1 3/4"	NONE	HM	-	EXISTING DOOR # FRAME TO REMAIN. SEE ALT #1			
102, 103	3'-0" x 7'-0"	1 3/4"	NONE	INSUL HM	3/A2	4" HEAD @ FRAME			
104, 105 - EXISTING	8'-0" x 4'-0"	-	NONE	-	-	EXISTING COILING DOOR - SEE ALTERNATE #2			
108	3'-0" x 7'-0"	1 3/4"	NONE	HM	3/A2	4" HEAD @ FRAME			

OH - OVERHEAD
 TEMP - TEMPERED
 HM - HOLLOW METAL
 INSUL - INSULATED



REVISION DATE Plans For: Holgate Middle School Pump House Renovation Aberdeen, SD	Demolition Plan Floor Plan Reflected Ceiling Plan Sections Details	DRAWN BY: IG TRACED BY: DM CHECKED BY: DM DATE: 05/09/22 PROJECT NO: 2021-00xx
---	--	--

A2

NOTICE TO BIDDERS

NOTICE IS HEREBY GIVEN that the Park and Recreation Board of the City of Aberdeen will receive sealed bids at its office at 225 Third Avenue Southeast, Aberdeen, South Dakota, for irrigation materials in accordance with specifications on file and accessible in said office.

Bids will be received until 2:00 p.m. on Tuesday, May 24th, 2022, and opened publicly at the office of the Park and Recreation Board at the time stated. Bids will be awarded at a regular meeting of the Aberdeen Park and Recreation Board in the Aberdeen Parks, Recreation and Forestry Department Office, 225 Third Avenue Southeast, Aberdeen, South Dakota, at 12:00 noon on Wednesday, June 8th, 2022.

Bids shall be submitted in accordance with the specifications. All bids shall be plainly marked on the outside of the envelope with the words "**Bid for Holgate Restrooms.**" Each bid in excess of \$25,000 shall be accompanied by a ten percent (10%) Bid Bond or a certified check or a cashiers check in an amount equal to at least five percent (5%) of the total gross bid, the same to be issued by a solvent bank authorized to operate in South Dakota, and made payable to the City of Aberdeen, South Dakota. These securities are to be guarantees that if the Proposal is accepted, a contract will be entered into by the Bidder. Contracts in excess of \$25,000 will require a Payment Bond and a Performance Bond acceptable to the City of Aberdeen, South Dakota, for one hundred percent (100%) of the Contract, in conformance with the requirements of the Contract documents. No bid may be withdrawn within a period of thirty (30) days after the date fixed for opening bids.

The Park and Recreation Board reserves the right to reject any and all bids and make the award on the basis of the lowest and best qualified bidder.

Specifications are on file in the Parks, Recreation and Forestry Office, 225 Third Avenue Southeast, Aberdeen, South Dakota, and the specifications on file are made a part of this Notice as though fully set forth herein.

Dated this 5th day of May, 2022.

PARK AND RECREATION BOARD,
City of Aberdeen, SD

By: Mark Hoven

Its: Director

Publish Dates:

May 12, 2022

May 19, 2022