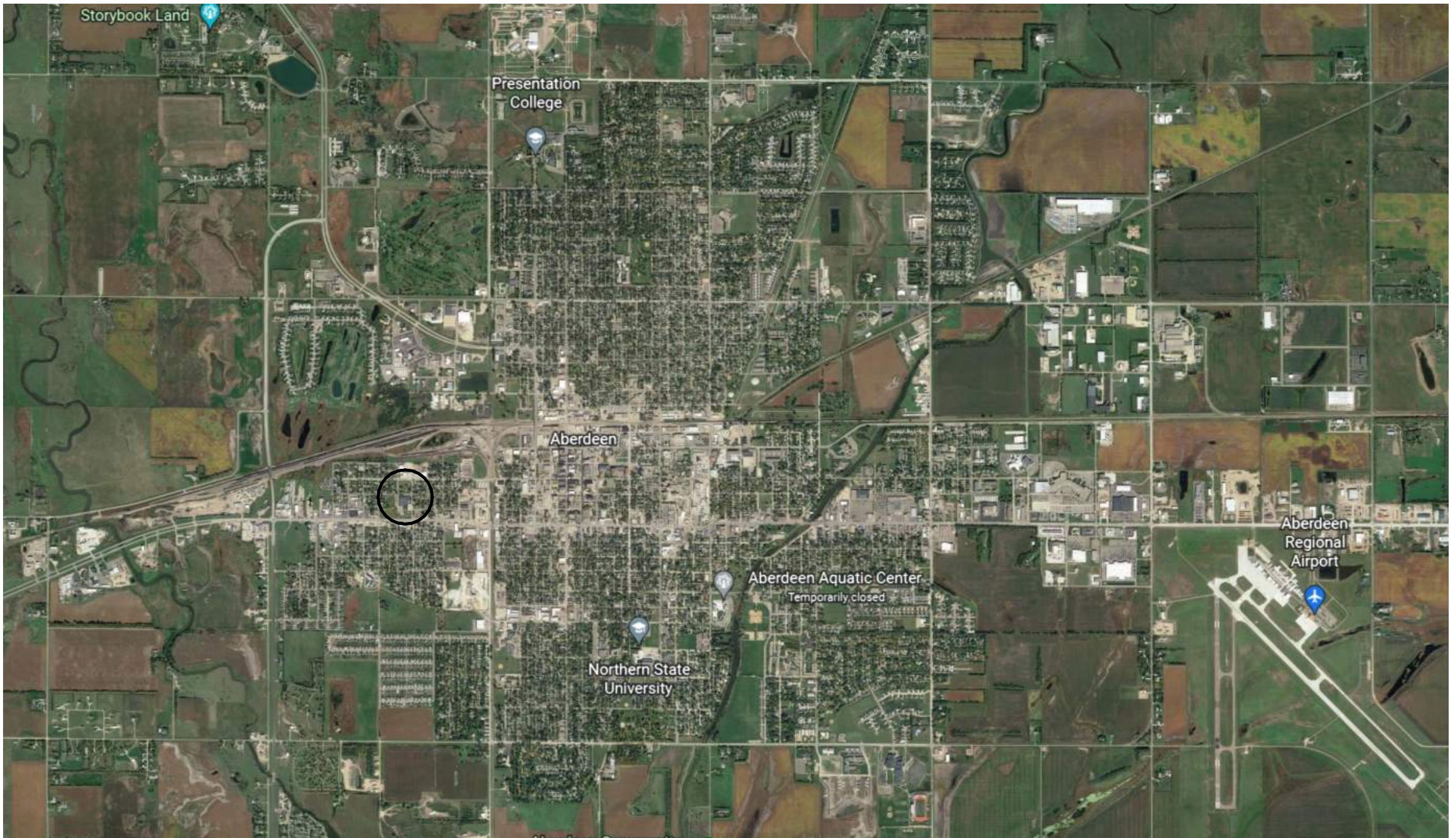


# LINCOLN ELEMENTARY RESTROOM RENOVATIONS

Aberdeen School District 6-1  
 ABERDEEN, SOUTH DAKOTA

DRAWING SHEET INDEX:

CODE	
G100	GENERAL NOTES, CODE & ORIENTATION PLAN
G102	CODE STANDARDS AND SYMBOLS LEGEND
ARCHITECTURAL	
A100	DEMOLITION PLANS & ENLARGED FLOOR PLANS
A101	INTERIOR ELEVATIONS, ROOM FINISH SCHEDULE, FINISH LEGEND, MISC. DETAILS
A102	REFLECTED CEILING PLANS
MECHANICAL	
EM100	MOTOR SCHEDULE, LEGEND & SHEET INDEX
M200	PLUMBING & HYDRONICS DEMOLITION PLAN
M300	PROPOSED PLUMBING & HYDRONICS PLAN
M400	PLUMBING FIXTURE SCHEDULE
M500	HVAC & FIRE PROTECTION PLAN
ELECTRICAL	
E200	ELECTRICAL PLAN



<p>ARCHITECT:</p> 	<p>MECHANICAL &amp; ELECTRICAL ENGINEER</p> <p style="text-align: center;"><b>SICHMELLER ENGINEERING</b></p> <p style="text-align: center;">Mechanical and Electrical Engineering 605-225-4344</p>	<p>OWNER: ABERDEEN SCHOOL DISTRICT 6-1</p> 	<p>1108 S Main St. 102        Aberdeen, SD 57401        Phone: 605-725-4852</p> <p>440 E 8th St. 221        Sioux Falls, SD 57103        Phone: 605-334-9999</p> <p>601 Kansas City St. 7        Rapid City, SD 57701        Phone: 605-716-3652</p> <p>www.co-oparch.com</p>
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**CONSTRUCTION DOCUMENTS**  
 11-23-2022



## ARCHITECTURAL GENERAL NOTES

### GENERAL NOTES

- SEE MECHANICAL, AND ELECTRICAL FOR ADDITIONAL INFORMATION AND COORDINATION.
- REFER TO SHEET **G101** FOR ALL ADA CODE STANDARDS.
- SQUARE FOOTAGES LISTED ARE FOR CODE REVIEW PURPOSES ONLY AND SHOULD NOT BE USED FOR ANY OTHER PURPOSES.
- COORDINATE WORK DONE BY OTHERS AS INDICATED ON THE DRAWINGS.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, ELEVATIONS AND DIMENSIONS.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL CONSTRUCT ALL ITEMS WITHIN THIS CONTRACT IN ACCORDANCE WITH THE STATE AND LOCAL REGULATIONS AND CODES.
- REVIEW ALL INTERIOR ELEVATION SHEETS FOR ACCESSORY AND EQUIPMENT INFORMATION. COORDINATE WITH CODE STANDARD SHEET **G101**.
- COORDINATE ALL CHASE SIZES AND LOCATIONS W/ MECHANICAL. PROVIDE CHASES AT ALL EXPOSED MACHANICAL & ELECTRICAL WITH ADJACENT WALL MATERIAL AS REQUIRED.

### DEMOLITION NOTES

- SEE MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION RELEVANT TO DEMOLITION & PATCHING.
- PATCH REMAINING EXISTING CONSTRUCTION, AFFECTED BY DEMOLITION, TO MATCH EXISTING U.O.N.
- COORDINATE WITH OWNER ANY DEMO ITEMS TO BE SALVAGED FOR THE OWNERS REUSE.

### FINISHES NOTES

- SEE DRAWING SHEET **A1-3** FOR ROOM FINISH SCHEDULE.
- INTERIOR WALL FINISHES ARE FULL HEIGHT, U.N.O.
- PREP ALL EXISTING WALLS AS REQUIRED FOR PROPER ADHESION OF NEW WALL TILE.
- PREP ALL EXISTING WALLS AS REQUIRED FOR NEW PAINTING.

### CEILING NOTES

- ALL ITEMS INSTALLED IN CEILINGS, INCLUDING SPRINKLER HEADS, ARE TO BE CENTERED OR SYMMETRICALLY ARRANGED ON OR ABOUT CENTERLINES OF ROOMS AND CENTERED IN CEILING TILES.
- WALL MOUNTED EXIT SIGNS AND FIXTURES ARE TO BE CENTERED OVER DOOR OR DOOR OPENING WHERE APPLICABLE.
- REFER TO SPECIFICATIONS FOR CEILING AND FIXTURE SUSPENSION REQUIREMENTS.
- PROVIDE ACCESS DOORS AT ALL MECHANICAL UNIT LOCATIONS ABOVE SOFFIT. COORD. NUMBER REQUIRED AND LOCATIONS WITH MECHANICAL SHEETS.
- CENTER CEILING GRID IN AREAS SUCH THAT THERE WILL BE NO CEILING TILE LESS THAN 6" IN THE SMALLEST DIMENSION, U.N.O.
- THE REFLECTED CEILING PLANS ARE INTENDED TO AID IN COORDINATION ONLY AND ARE NOT INTENDED TO BE COMPREHENSIVE. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WHERE CONFLICTS OCCUR, NOTIFY ARCHITECT.
- COORDINATE WITH MEP FOR LOCATION OF CEILING ACCESS PANELS.
- CENTER LIGHT FIXTURES BETWEEN WALLS AND/OR CEILING BULKHEADS UNLESS DIMENSIONED OTHERWISE.
- ALIGN GYPSUM BOARD CEILINGS AND SOFFITS WITH ADJACENT PARTITIONS, U.N.O.
- IN ALL EXPOSED TO STRUCTURE ROOMS, CENTER LIGHT FIXTURE WITHIN ROOM

### DOORS, HARDWARE & WINDOWS NOTES

- ALL HM FRAMES IN STUD PARTITIONS SHALL BE WRAPPED AROUND BOTH SIDES OF PARTITION (U.O.N.) SEE PLAN FOR WALL THICKNESS.
- ALL EXTERIOR FRAMES & DOORS ARE TO BE THERMALLY BROKEN.
- CAULK ENTIRE PERIMETER OF H.M. FRAMES (BOTH SIDES).
- PAINT FRAMES TO MATCH WALL. SPLIT PAINT COLOR AT DOOR GASKET AS REQUIRED.
- PROVIDE ROOM SIGNAGE AT ALL DOORS. WHERE MOUNTED TO GLAZING, PROVIDE A BLANK BACK PLATE ON OPPOSITE SIDE OF GLAZING. SEE CODE STANDARDS FOR MOUNTING HEIGHTS AND LOCATIONS. SEE SPECIFICATIONS FOR SPECIAL SIGNAGE REQ.
- REFER TO WALL TYPES FOR WALL CONSTRUCTION ELEMENTS FOR ALL DOOR AND WINDOW DETAILS. COORDINATE ALL STRUCTURAL REQ. WITH STRUCTURAL DRAWINGS.
- WALL MOUNTED EXIT SIGNS AND FIXTURES ARE TO BE CENTERED OVER DOOR OR DOOR OPENING WHERE APPLICABLE.

### FLOOR NOTES

- SEE MECHANICAL FOR ALL FLOOR DRAIN SIZES AND LOCATIONS U.N.O. SET FLOOR DRAINS MINIMUM 3/4" BELOW FINISHED FLOOR. PROVIDE EVEN SLOPE FROM WALL TO DRAIN W/ A MAXIMUM SLOPE OF 1/4" PER FOOT.

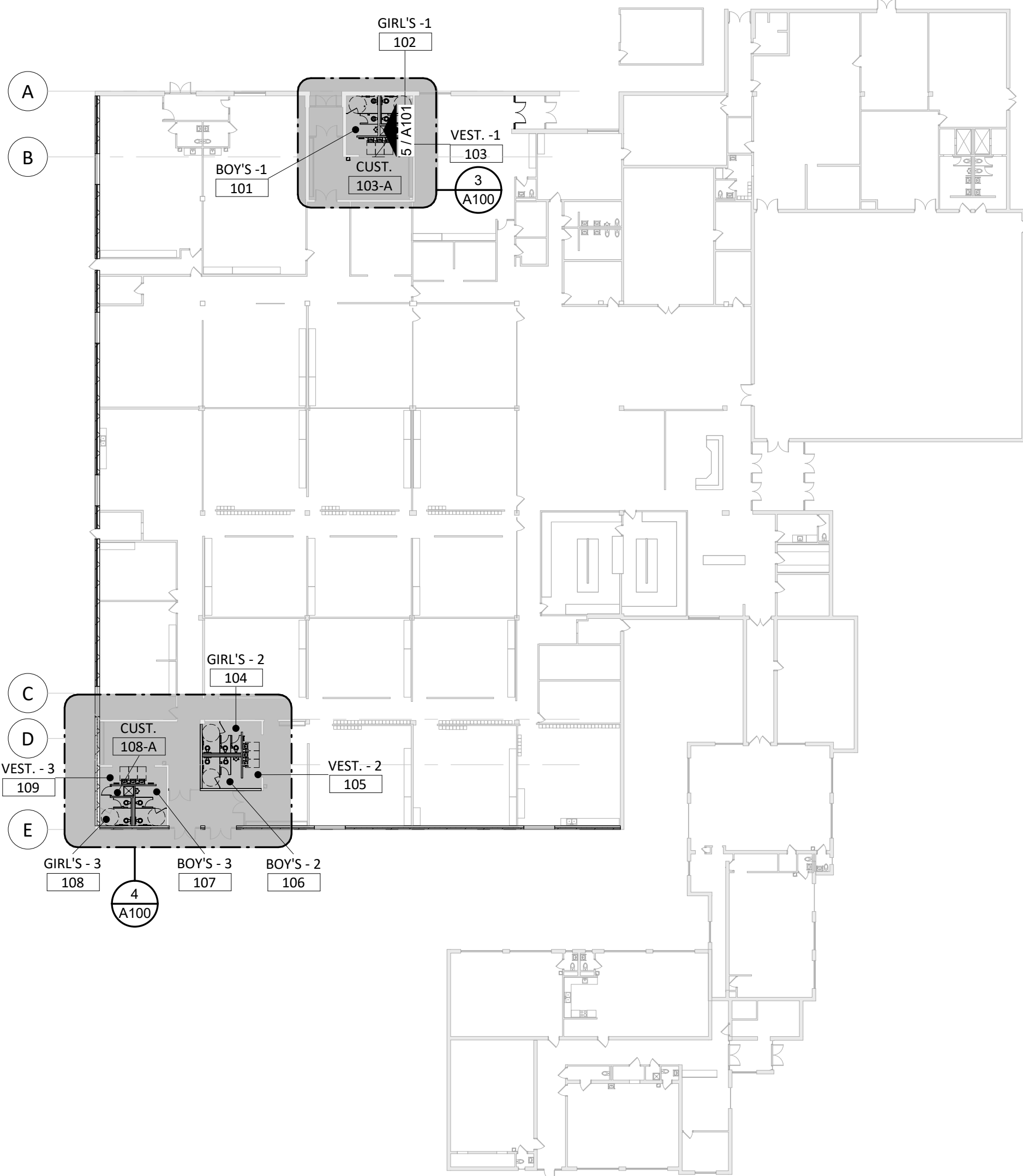
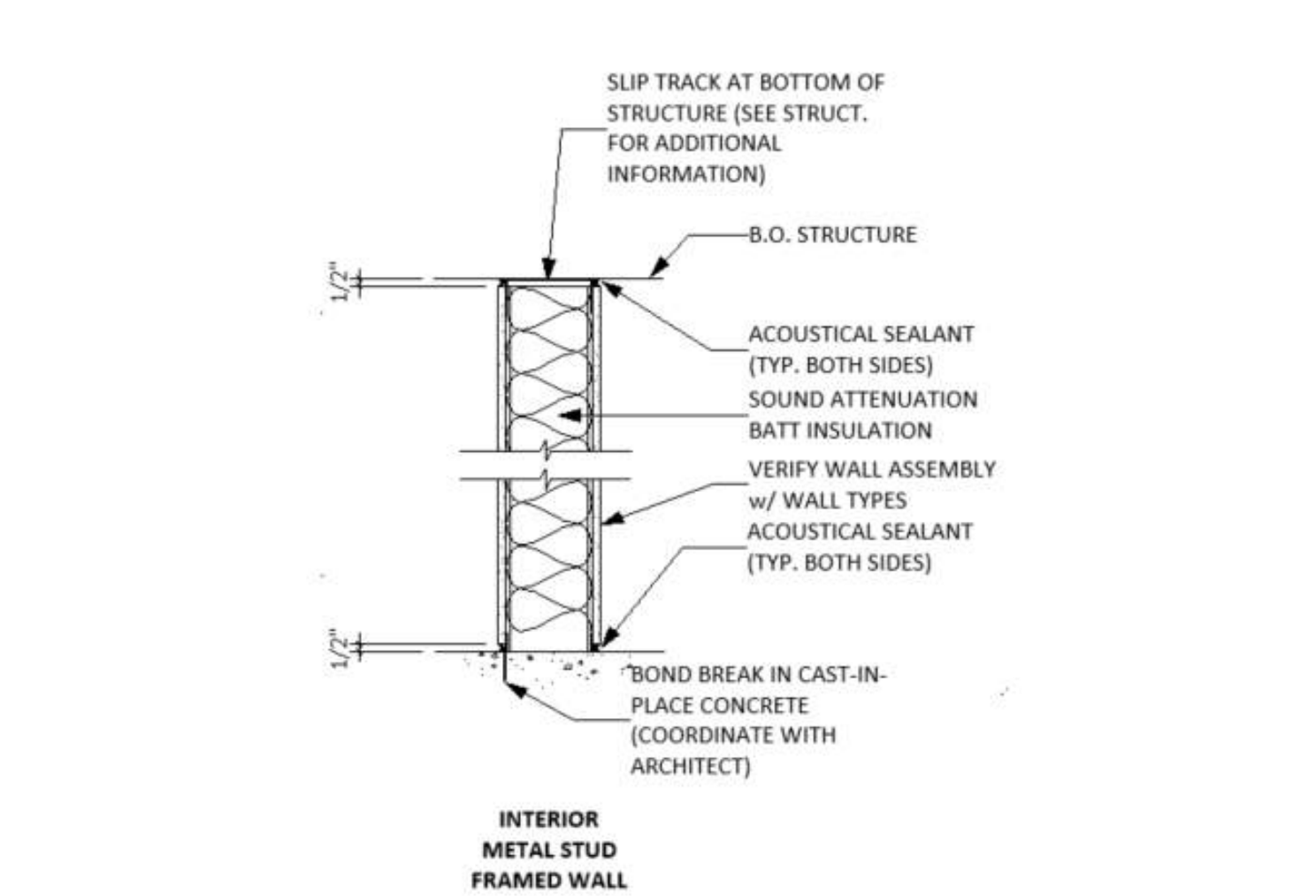
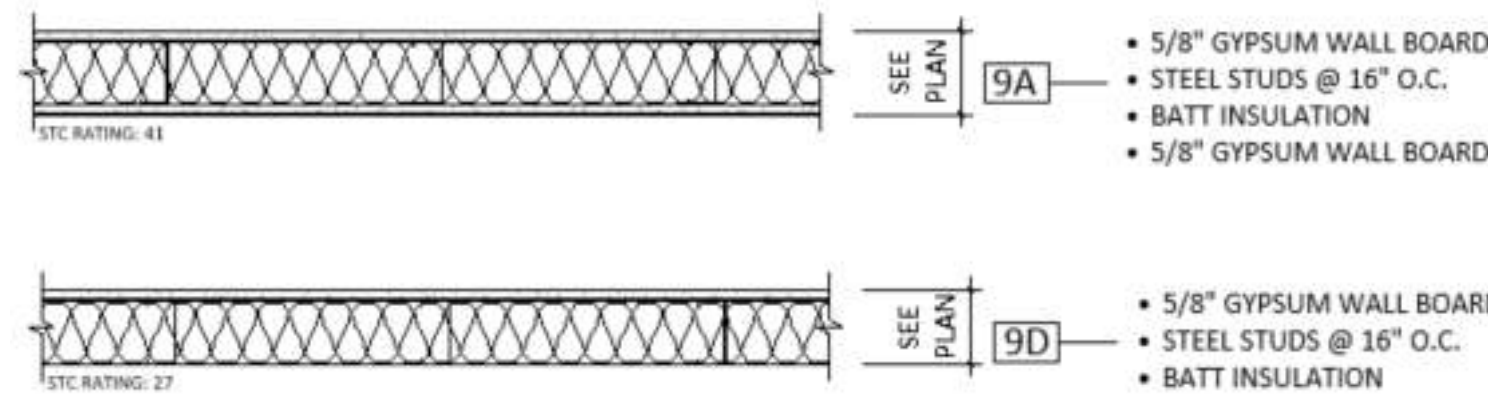
### WALL NOTES

- ALL WALLS TO BE TYPE 9A AND TYPE 9D U.O.N.** AND EXTEND TO DECK UNLESS OTHERWISE NOTED ON WALL TYPES.
- ALL DIMENSIONS ARE FROM FACE GWB TO FACE OF GWB U.N.O.
- COORDINATE ALL CHASE SIZES AND LOCATIONS W/ MECHANICAL. PROVIDE CHASES AT ALL EXPOSED MACHANICAL & ELECTRICAL WITH ADJACENT WALL MATERIAL AS REQUIRED.
- INCREASE WALL THICKNESS OF METAL STUD AND CONCRETE BLOCK WALLS AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL DEVICES- VERIFY WITH ARCHITECT PRIOR TO WORK.
- VERIFY DRYWALL CONTROL JOINT LOCATIONS W/ARCHITECT ON SITE PRIOR TO INSTALLATION. THIS INCLUDES, BUT IS NOT LIMITED TO, CONTROL JOINTS AT 30'-0" O.C. MAX. IN LONG WALL EXPANSES. CONTROL JOINTS AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CONSIDERATION SHALL ALSO BE GIVEN TO LOCATING CONTROL JOINTS FROM FLOOR TO CEILING AT EITHER EDGE OF LARGE WINDOW OPENINGS.
- THE AIR & MOISTURE WEATHER BARRIER IS TO BE CONTINUOUS FROM THE BASE OF THE WALLS UP TO & TYING INTO THE ROOF BARRIER SYSTEM.

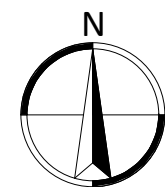
### FIXTURES NOTES

- CAULK PERIMETER OF ALL TUB/SHOWER UNITS, TOILETS, URINALS, SINKS & COUNTERTOPS AS REQUIRED.
- REVIEW ALL INTERIOR ELEVATION SHEETS FOR ACCESSORY AND EQUIPMENT INFORMATION.
- PROVIDE 2x FIRE TREATED BLOCKING AT ALL GRAB BAR. SEE CODE SHEETS FOR ADDITIONAL BLOCKING INFORMATION.

## WALL TYPE 9 (DIVISION 9 - INTERIORS)



1 OVER ALL FIRST FLOOR PLAN  
1" = 30'-0"



## 2018 INTERNATIONAL BUILDING CODE

BUILDING AREA	OCCUP. TYPE	TYPE OF CONSTR.	NO. OF STORIES	BUILDING SPRINKLER	PERIMETER W/20' YD.	PERIMETER BUILDING	ALLOW. AREA/FLR.	ACTUAL AREA/FLR.	COMMT.
	E	5-A	1	Y					

## PROJECT INFORMATION

**PROJECT NAME:** LINCOLN ELEMENTARY RESTROOM RENOVATIONS

**ADDRESS:** 1414 S 10TH STREET

**OWNER:** Aberdeen School District 6-1

**LEGAL DESCRIPTION:**

**ZONING:** R-2

**SETBACK REQUIREMENTS:**

**FRONT:** \_\_\_\_\_ **SIDE:** \_\_\_\_\_ **REAR:** \_\_\_\_\_

**PARKING SETBACK:**

**PROPERTY AREA:** \_\_\_\_\_

**NEW BUILDING AREA:** \_\_\_\_\_

**EXISTING BUILDING AREA:** \_\_\_\_\_

**BUILDING HEIGHT:** \_\_\_\_\_

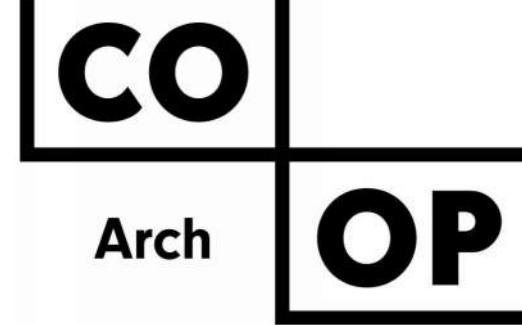
**PARKING REQUIRED:**

**PARKING PROVIDED:**

**FIRST FLOOR ELEVATION:** \_\_\_\_\_

## ABBREVIATIONS

<b>A</b> AIR CONDITION	<b>E</b> FINISHED FLOOR ELEVATION	<b>P</b> POUNDS PER SQAURE FOOT
<b>AB</b> ANCHOR BOLT	<b>FF</b> FINISHED FLOOR	<b>PVT</b> PAVER TILE
<b>ACPL</b> ACOUSTICAL PLASTER	<b>FLR</b> FLOOR	<b>PTB</b> PAVER TILE BASE
<b>ADJ</b> ADJUSTABLE	<b>FRP</b> FIBERGLASS REINFORCED PANEL	<b>PWD</b> PLYWOOD
<b>AFF</b> ABOVE FINISH FLOOR	<b>FT</b> FOOT	
<b>AHU</b> AIR HANDELING UNIT	<b>FTG</b> FOOTING	
<b>ALUM</b> ALUMINIUM	<b>FWC</b> FABRIC WALL COVERING	
<b>ALT</b> ALTERNATE		
<b>ANC</b> ANCHOR		
<b>APC</b> ACOUSTICAL PANEL CEILING		
	<b>G</b>	
<b>B</b> BOTTOM OF CURB	<b>GALV</b> GALVANIZED	
<b>BD</b> BOARD	<b>GB</b> GRAB BAR	<b>R</b> RESILIENT BASE
<b>BLDG</b> BUILDING	<b>GC</b> GENERAL CONTRACTOR	<b>RD</b> ROOF DRAIN
<b>BLKG</b> BLOCKING	<b>GLAZ</b> GLAZED BLOCK	<b>REF</b> REFRIDGERATOR
<b>BN</b> BULLNOSE	<b>GWB</b> GYPSUM WALL BOARD	<b>RM</b> ROOM
<b>B.O.</b> BOTTOM OF	<b>GBT</b> GLAZED WALL TILE	<b>RO</b> ROUGH OPENING
<b>BOW</b> BOTTOM OF WALL		<b>RST</b> RESILIENT STAIR TREAD
<b>BRG</b> BEARING		<b>RT</b> RUBBER TILE
<b>BRL</b> BRICK LEDGE		<b>RVB</b> RUBBER VENTED BASE
<b>BURN</b> BURNISHED BLOCK		
	<b>H</b>	
<b>C</b> CORNER GUARD	<b>HB</b> HOSE BIB	
<b>CJ</b> CONTROL JOINT	<b>HC</b> HANDICAPPED	
<b>CLG</b> CEILING	<b>HLB</b> HORIZONTAL LOUVER BLINDS	<b>S</b> SPLASH BLOCK
<b>CMU</b> CONCRETE MASONRY UNIT	<b>HM</b> HOLLOW METAL	<b>SC-#</b> SPECIAL COATING (COLOR #)
<b>COL</b> COLUMN	<b>HPC</b> HIGH PERFORMANCE COATING	<b>SCONC</b> SEALED CONCRETE
<b>COMP</b> COMPARTMENT	<b>HT</b> HEIGHT	<b>SECT</b> SECTION
<b>CONC</b> CONCRETE	<b>HVAC</b> HEATING, VENTING & AIR CONDITIONING	<b>SIM</b> SIMILAR
<b>CONSTR</b> CONSTRUCTION		<b>SQ</b> SQUARE
<b>CONT</b> CONTINUOUS OR CONTINUE		<b>SS</b> STAINLESS STEEL
<b>CONTR</b> CONTRACTOR	<b>I</b>	<b>STD</b> STANDARD
<b>CPT</b> CARPET	<b>ID</b> INSIDE DIAMETER	<b>STL</b> STEEL
<b>CSV</b> COVE SHEET VINYL BASE	<b>INSL</b> INSULATION	<b>SV</b> SHEET VINYL FLOORING
<b>CT</b> CERAMIC TILE	<b>INT</b> INTERIOR	<b>SYM</b> SYMMETRICAL
<b>CTB</b> CERAMIC TILE BASE		
	<b>J</b>	
<b>D</b> DOUBLE	<b>JBE</b> JOIST BEARING ELEVATION	<b>I</b>
<b>DIA</b> DIAMETER	<b>JST</b> JOIST	<b>T&amp;G</b> TONGUE & GROOVE
<b>DIM</b> DIMENSION	<b>JT</b> JOINT	<b>TB</b> TACKBOARD
<b>DEMO</b> DEMOLITION		<b>TBD</b> TO BE DETERMINED
<b>DET</b> DETAIL		<b>TC</b> TOP OF CURB
<b>DF</b> DRINKING FOUNTAIN		<b>TERR</b> TERRAZZO
<b>DR</b> DOOR		<b>T.O.</b> TOP OF
<b>DS</b> DOWNSPOUT		<b>TOC</b> TOP OF CONCRETE
<b>DW</b> DISH WASHER		<b>TOF</b> TOP OF FOOTING
<b>DWG</b> DRAWING		<b>TOM</b> TOP OF MASONRY
	<b>L</b>	<b>TOO</b> TOP OF OPENING
<b>E</b> EACH	<b>LAM</b> LAMINATE	<b>TOP</b> TOP OF PRECAST
<b>EIFS</b> EXTERIOR INSULATION FINISH SYSTEM	<b>LAV</b> LAVATORY	<b>TOS</b> TOP OF STEEL
<b>EJ</b> EXPANSION JOINT		<b>TOW</b> TOP OF WALL
<b>ELEV</b> ELEVATION		<b>TPD</b> TOILET PAPER DISPENSER
<b>ELEC</b> ELECTRIC	<b>M</b>	<b>TS</b> TALL STORAGE
<b>EQ</b> EQUAL	<b>MAX</b> MAXIMUM	<b>TV</b> TELEVISION
<b>EQUIP</b> EQUIPMENT	<b>MB</b> MARKER BOARD	<b>TYP</b> TYPICAL
<b>ES</b> EXPOSED STRUCTURE	<b>MECH</b> MECHANICAL	
<b>EW</b> EACH WAY	<b>MTL</b> METAL	
<b>EWG</b> ELECTRIC WATER COOLER	<b>MIN</b> MINIMUM	
<b>EXPO</b> EXPOSED	<b>MO</b> MASONRY OPENING	
<b>EXIST</b> EXISTING	<b>MST</b> MOSAIC TILE	
<b>EXT</b> EXTERIOR	<b>MTB</b> MOSAIC TILE BASE	
<b>F</b> FURNISHED BY OTHERS	<b>N</b>	
<b>FD</b> FLOOR DRAIN	<b>NIC</b> NOT IN CONTRACT	<b>U</b>
<b>FDN</b> FOUNDATION	<b>NO</b> NUMBER	<b>UNO</b> UNLESS NOTED OTHERWISE
<b>FE</b> FIRE EXTINGUISHER	<b>NOM</b> NOMINAL	
<b>FEC</b> FIRE EXTINGUISHER CABINET	<b>NTS</b> NOT TO SCALE	
	<b>O</b>	
	<b>OC</b> ON CENTER	<b>V</b>
	<b>OD</b> OUTSIDE DIAMETER	<b>VCT</b> VINYL COMPOSITION TILE
	<b>OH</b> OVERHEAD	<b>VEND</b> VENDING MACHINE
		<b>VERT</b> VERTICAL
		<b>VTR</b> VENT THRU ROOF
		<b>VWB</b> VINYL WALL BORDER
		<b>VWC</b> VINYL WALL COVERING
	<b>P</b>	
	<b>PT</b> PAINT	<b>W</b>
	<b>PL</b> PLATE	<b>W/</b> WITH
	<b>PLAS</b> PLASTER	<b>W/O</b> WITHOUT
	<b>PLAM</b> PLASTIC LAMINATE	<b>WB</b> WOOD BASE
		<b>WC</b> WATER CLOSET
		<b>WD</b> WOOD
		<b>WH</b> WATER HEATER
		<b>WOM</b> WALK OFF MAT
		<b>WT</b> WEIGHT



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Phone: 605-334-9999

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CO-OP PROJECT NO: 2259



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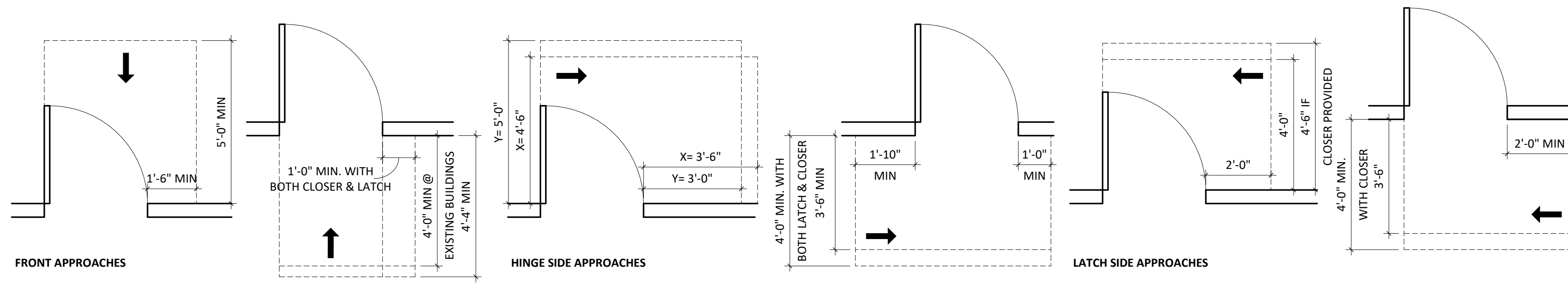
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REV. # REV. DSC. REV. DATE

PROJECT:  
LINCOLN ELEMENTARY RESTROOM  
RENOVATIONS  
Aberdeen School District 6-1  
ABERDEEN, SOUTH DAKOTA

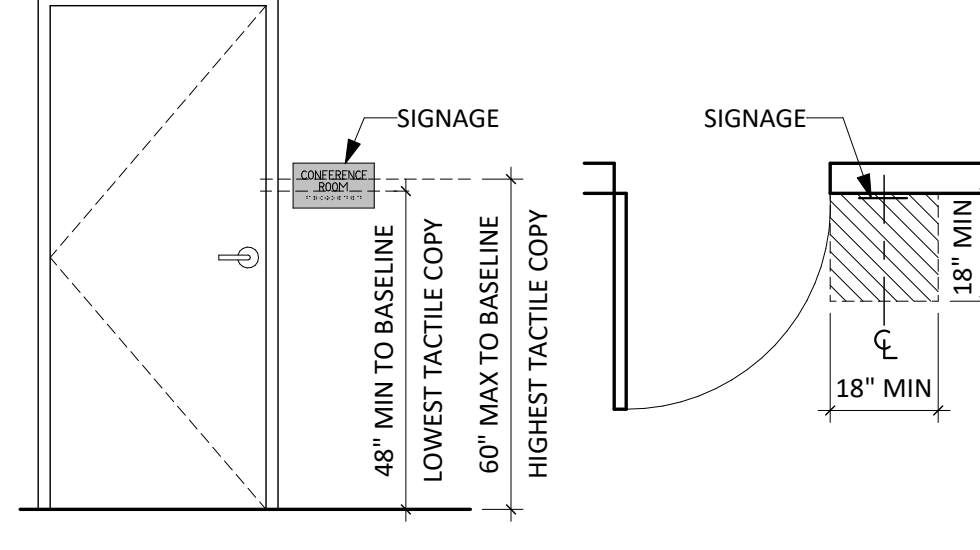
SHEET TITLE:  
GENERAL NOTES, CODE &  
ORIENTATION PLAN

# G100

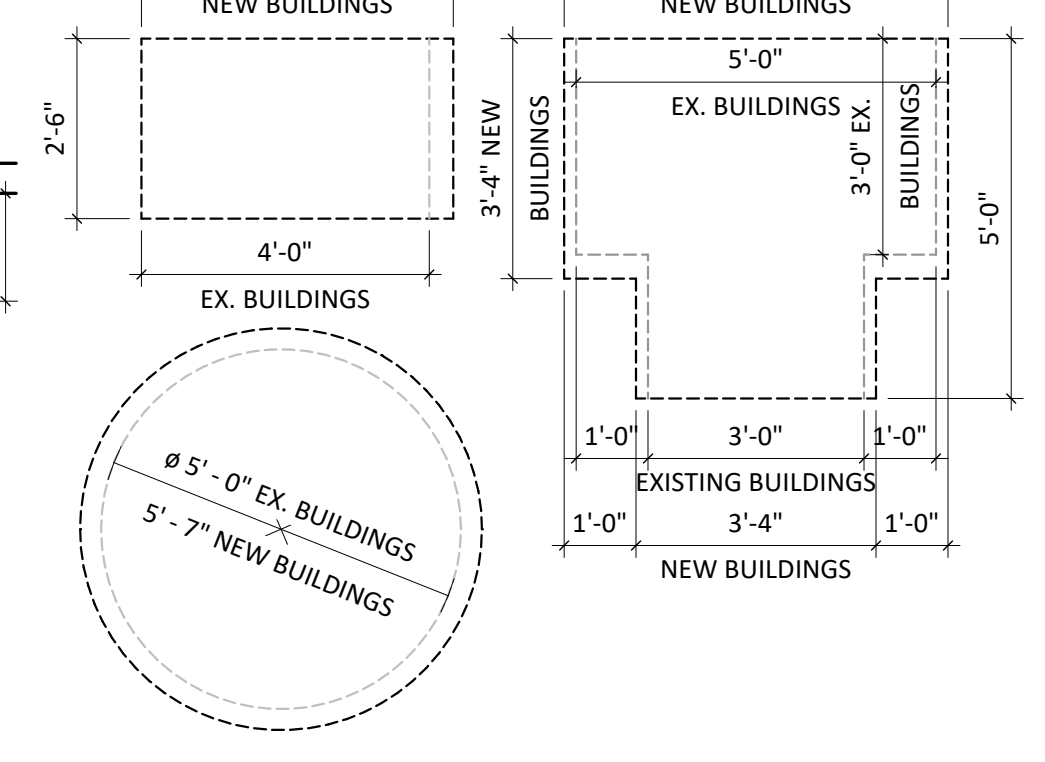
**MANEUVERING CLEARANCES AT DOORS PER ADAAG (4.13.6), ANSI (404.2.4), ICC A117.1-2017 (404.2.3)**



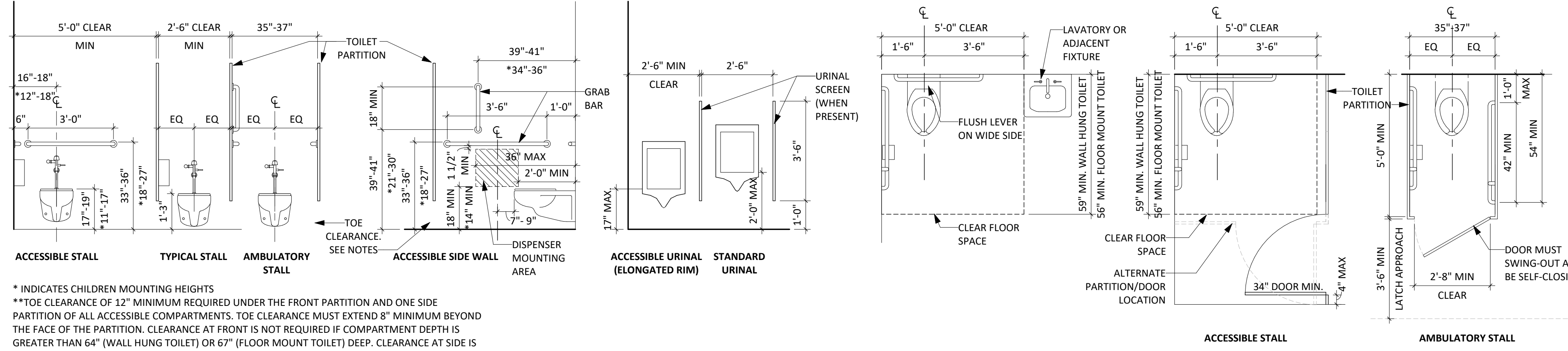
**SIGNAGE PER ADAAG (4.30.6), ANSI (703.4.1), ICC A117.1-2017 (703.3.10)**



**TURNING SPACE PER ANSI (304.1), ICC A117.1-2017 (304.3)**

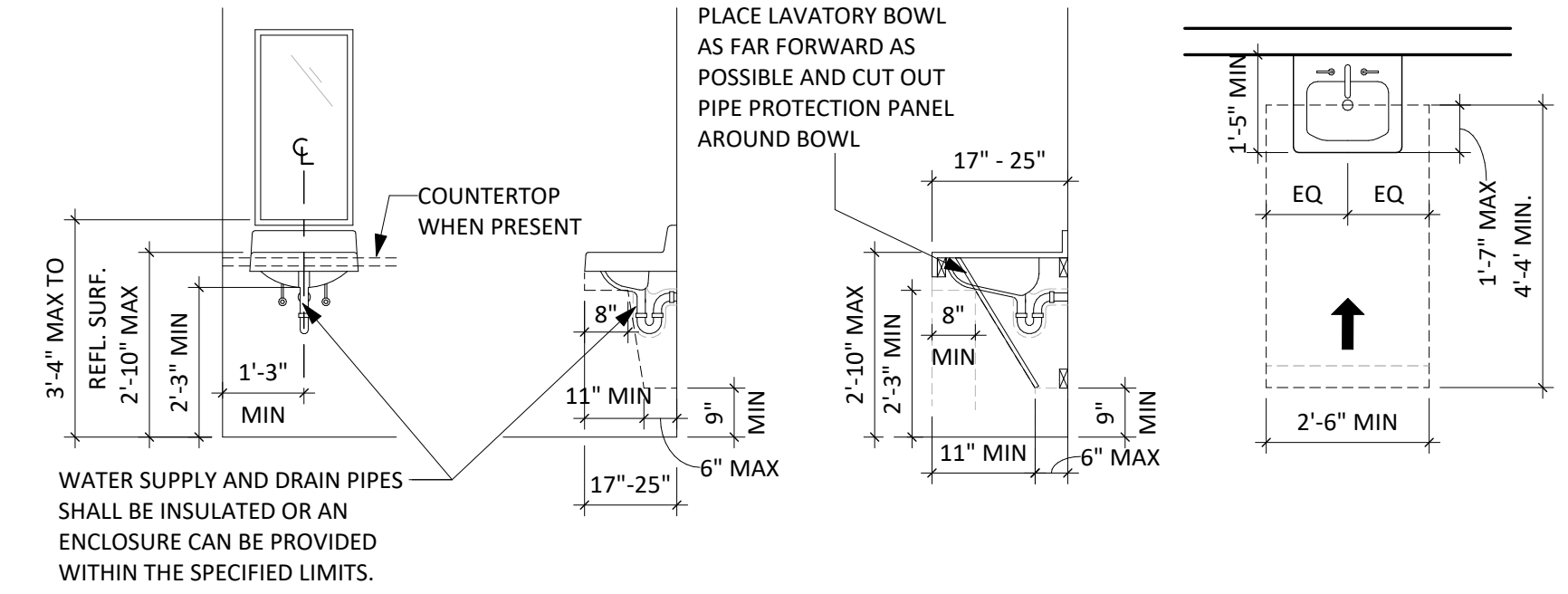


**WATER CLOSET & URINALS - CLEARANCES & MOUNTING HEIGHTS PER ADAAG (4.16-4.18), ANSI (603-605), ICC A117.1-2017(604.2-605.2 & 609.4)**

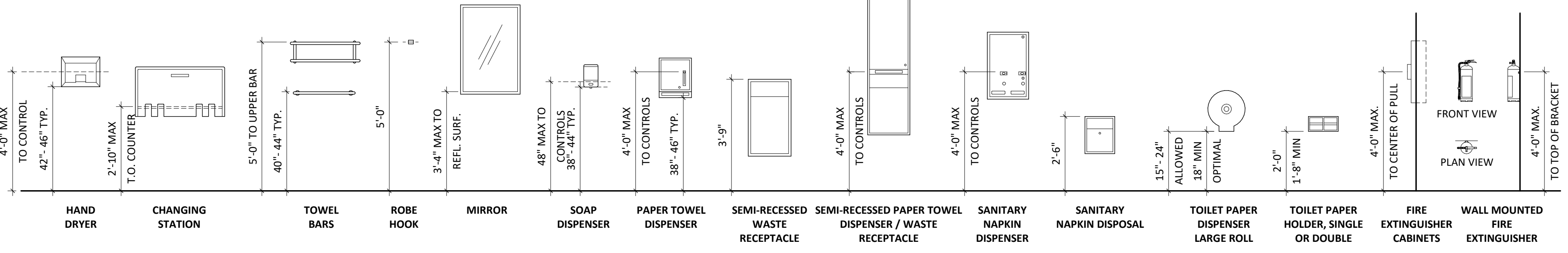


\* INDICATES CHILDREN MOUNTING HEIGHTS  
 \*\* TOE CLEARANCE OF 12" MINIMUM REQUIRED UNDER THE FRONT PARTITION AND ONE SIDE PARTITION OF ALL ACCESSIBLE COMPARTMENTS. TOE CLEARANCE MUST EXTEND 8" MINIMUM BEYOND THE FACE OF THE PARTITION. CLEARANCE AT FRONT IS NOT REQUIRED IF COMPARTMENT DEPTH IS GREATER THAN 64" (WALL HUNG TOILET) OR 67" (FLOOR MOUNT TOILET) DEEP. CLEARANCE AT SIDE IS NOT REQUIRED IF COMPARTMENT IS GREATER THAN 68" WIDE.

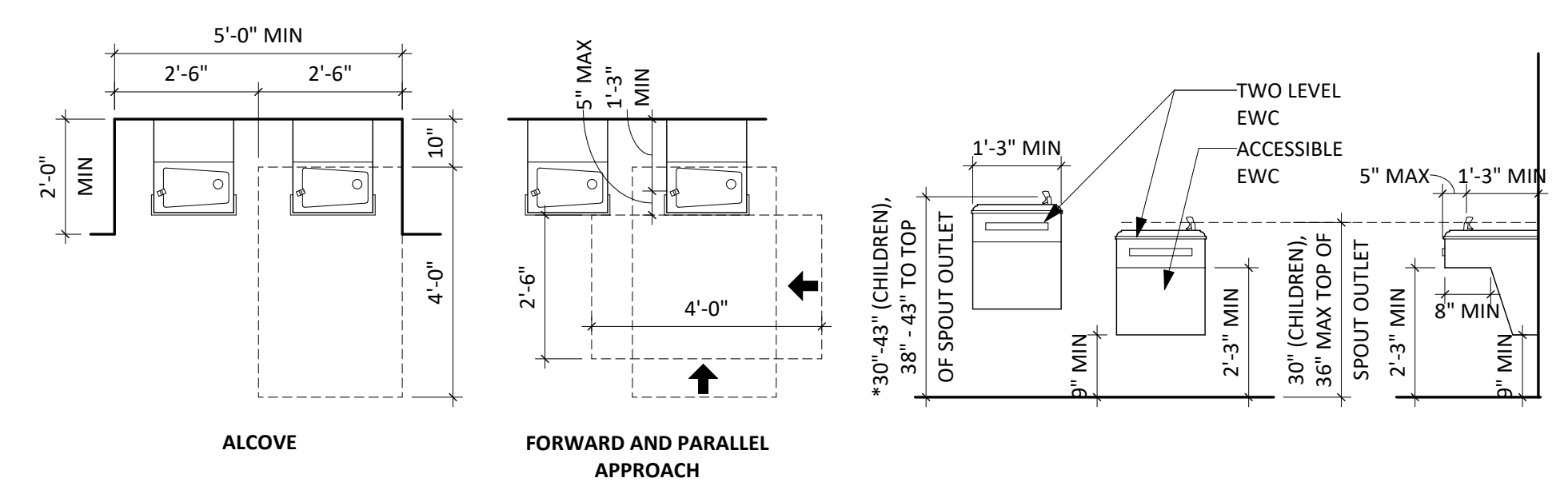
**LAVATORIES & SINKS - CLEARANCES & HEIGHTS PER ADAAG (4.19), ANSI (606), ICC A117.1-2009 (606.3)**



**MISCELLANEOUS MOUNTING HEIGHTS**

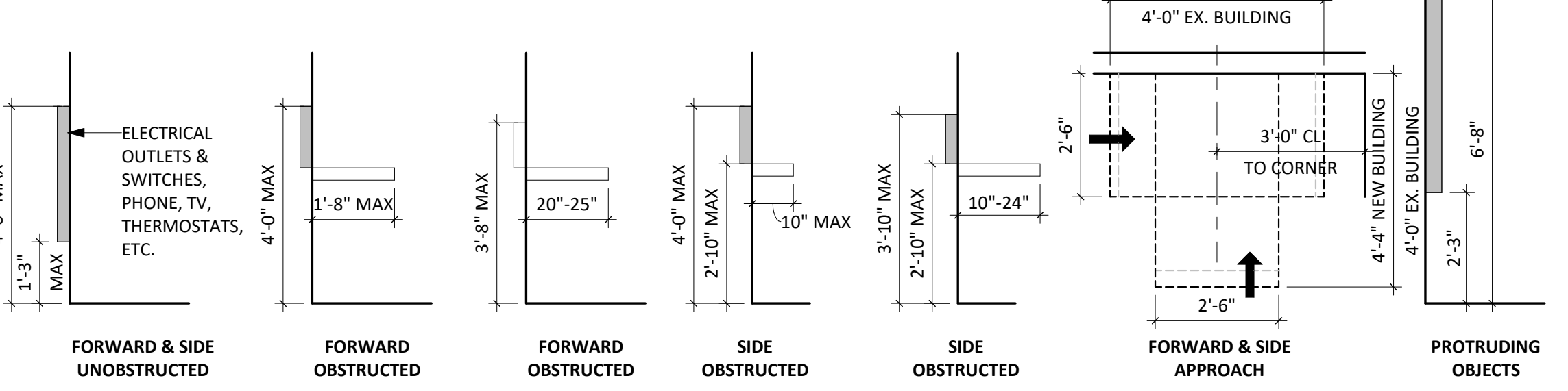


**DRINKING FOUNTAIN - CLEARANCES & HEIGHTS PER ADAAG (4.15), ANSI (602), ICC A117.1-2017 (602)**



**NOTE: ALL PLUMBING FIXTURES ARE SET AT CHILDREN MOUNTING HEIGHTS. SEE INTERIOR ELEVATIONS.**

**REACH RANGES PER ADAAG (4.2.5/4.2.6), ANSI (308), ICC A117.1-2017 (308.2/308.3)**



**ARCHITECTURAL SYMBOLS LEGEND**

① VIEW NAME 1/8" = 1'-0"	REFERENCED CALLOUT	↑ 1 A101	BUILDING SECTION SECTION / DRAWING SHEET
① VIEW NAME 1/8" = 1'-0"	PLAN VIEW CALLOUT	△ 1 A101	WALL SECTION SECTION / DRAWING SHEET
⊙ FLOOR LEVEL 100'-0"	ELEVATION NAME AND HEIGHT	○ 1 A101	DETAIL OR PLAN CALL OUT VIEW NUMBER / DRAWING SHEET
○ 0	GRID SYMBOL	?	KEYNOTE TAG
○ 0	GRID SYMBOL	999A	DOOR & FRAME TAG
ROOM 101 150 SF	ROOM NAME, NUMBER, & SQUARE FOOTAGE	◇ 00	WINDOW UNIT TAG
ROOM NAME 150 SF	ROOM NAME & SQUARE FOOTAGE	⊗ X	STOREFRONT & CURTAIN WALL TAG
1/A101	INTERIOR ELEVATION REFERENCE DETAIL NUMBER / DRAWING SHEET	△ 1	ROOF TYPE TAG
Ref 101 Ref	EXTERIOR BUILDING ELEVATIONS ELEVATION / DRAWING SHEET	⊗ X	WALL TYPE TAG
		1	FLOOR TYPE TAG
		1	REVISION NUMBER TAG
		℄	CENTER LINE
		N	NORTH ARROW

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CO-OP PROJECT NO: 2259

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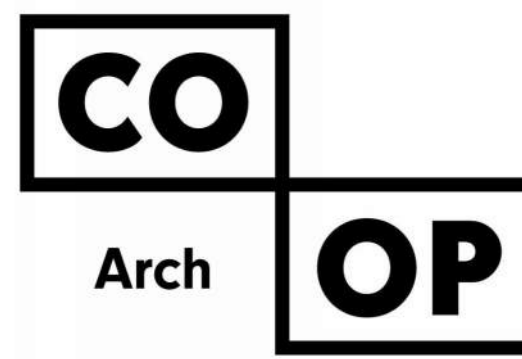
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PROJECT:  
LINCOLN ELEMENTARY RESTROOM RENOVATIONS  
Aberdeen School District 6-1  
ABERDEEN, SOUTH DAKOTA

SHEET TITLE:  
CODE STANDARDS AND SYMBOLS LEGEND

**G102**





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**GENERAL NOTES - DEMOLITION**

- SEE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND COORDINATION RELEVANT TO DEMOLITION AND PATCHING.
- PATCH AND/OR REPAIR ANY ADJACENT EXISTING CONSTRUCTION AFFECTED BY DEMOLITION, TO MATCH EXISTING CONDITIONS U.O.N.
- COORDINATE WITH THE OWNER ANY DEMO ITEMS TO BE SALVAGED BY THE GENERAL CONTRACTOR FOR THE OWNER'S RE-USE.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, ELEVATIONS AND DIMENSIONS.

**GENERAL NOTES**

- REFER TO SHEET **G102** FOR ADA STANDARDS.
- REFER TO SHEET **G100** FOR WALL TYPES.
- INTERIOR DIMENSIONS ARE FROM FACE OF GWB/CMU TO FACE OF GWB/CMU UNLESS OTHERWISE NOTED.
- ALL WALL TYPES TO EXTEND TO DECK UNLESS OTHERWISE NOTED ON WALL TYPES.
- EXTERIOR DIMENSIONS ARE FROM FACE OF BRICK/SHEATHING UNLESS OTHERWISE NOTED.
- COORDINATE WORK DONE BY OTHERS AS INDICATED ON THE DRAWINGS.
- INCREASE WALL THICKNESS OF METAL STUD AND CONCRETE BLOCK WALLS AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL DEVICES - VERIFY W/ ARCHITECT PRIOR TO WORK.
- SEE MECHANICAL FOR ALL FLOOR DRAIN SIZES AND LOCATIONS U.N.O. SET FLOOR DRAINS MINIMUM 1/4" BELOW FINISHED FLOOR. PROVIDE EVEN SLOPE FROM WALL TO DRAIN W/ A MAXIMUM SLOPE OF 1/8" PER FOOT.
- VERIFY DRYWALL CONTROL JOINT LOCATIONS W/ ARCHITECT ON SITE PRIOR TO INSTALLATION. THIS INCLUDES, BUT IS NOT LIMITED TO, CONTROL JOINTS AT 30'-0" O.C. MAX. IN LONG WALL EXPANSES. CONTROL JOINTS AT DOOR JAMBS EXTENDING FROM DOOR HEAD TO CEILING. CONSIDERATION SHALL ALSO BE GIVEN TO LOCATING CONTROL JOINTS FROM FLOOR TO CEILING AT EITHER EDGE OF LARGE WINDOW OPENINGS.
- COORDINATE ALL CHASE SIZES AND LOCATIONS W/ MECHANICAL. PROVIDE CHASES AT ALL EXPOSED MECHANICAL & ELECTRICAL WITH ADJACENT WALL MATERIAL AS REQUIRED.
- INTERIOR WALL FINISHES ARE FULL HEIGHT, U.N.O.
- RESTROOM WALLS ARE INSULATED AND ARE FULL HEIGHT, U.N.O.
- ALL TOILET ACCESSORIES, TOILET PAPER, SOAP & PAPER TOWEL DISPENSERS, AND SANITARY NAPKIN DISPOSAL UNITS ARE PROVIDED BY AND INSTALLED BY OWNER. GC TO PROVIDE BACKING AS REQUIRED.
- GENERAL CONTRACTOR TO INSTALL ALL NEW FIXTURES AT HEIGHT INDICATED PER CODE SHEET G101.

**KEYNOTE SCHEDULE**

2.22	CUT CONCRETE FLOOR, REMOVE AND DISPOSE OF PORTION OF CAST IN PLACE CONCRETE FLOOR SLAB AS DESIGNATED BY SHADED AREA
2.25	REMOVE MASONRY WALL
2.33	REMOVE ACOUSTIC PANEL CEILING, ELECTRICAL FIXTURES AND MECHANICAL UNITS - SEE M/E
2.36	REMOVE DOOR & H.M. FRAME
2.48	REMOVE CERAMIC/PORCELAIN/QUARRY TILE (INCLUDING ALL ADHESIVES/SETTING MATERIALS)
2.52	REMOVE TOILET PARTITION
2.53	REMOVE TOILET ACCESSORIES
2.55	REMOVE TOILET
2.56	REMOVE URINAL
2.57	REMOVE CIRCULAR WASHFOUNTAIN
2.60	REMOVE EXISTING MOP SINK
10.10	TOILET PARTITION, BASIS OF DESIGN SCRANTON HINY HIDERS
10.33	TOILET TISSUE DISPENSER PROVIDED BY AND INSTALLED BY OWNER
10.34	SANITARY NAPKIN DISPOSAL PROVIDED BY AND INSTALLED BY OWNER
10.36	PAPER TOWEL DISPENSER PROVIDED BY AND INSTALLED BY OWNER
10.40	MIRROR W/SS TRIM, BASIS OF DESIGN BOBRICK B-165
10.48	GRAB BAR
22.22	FLOOR DRAIN - SEE MECHANICAL

CO-OP PROJECT NO: 2259



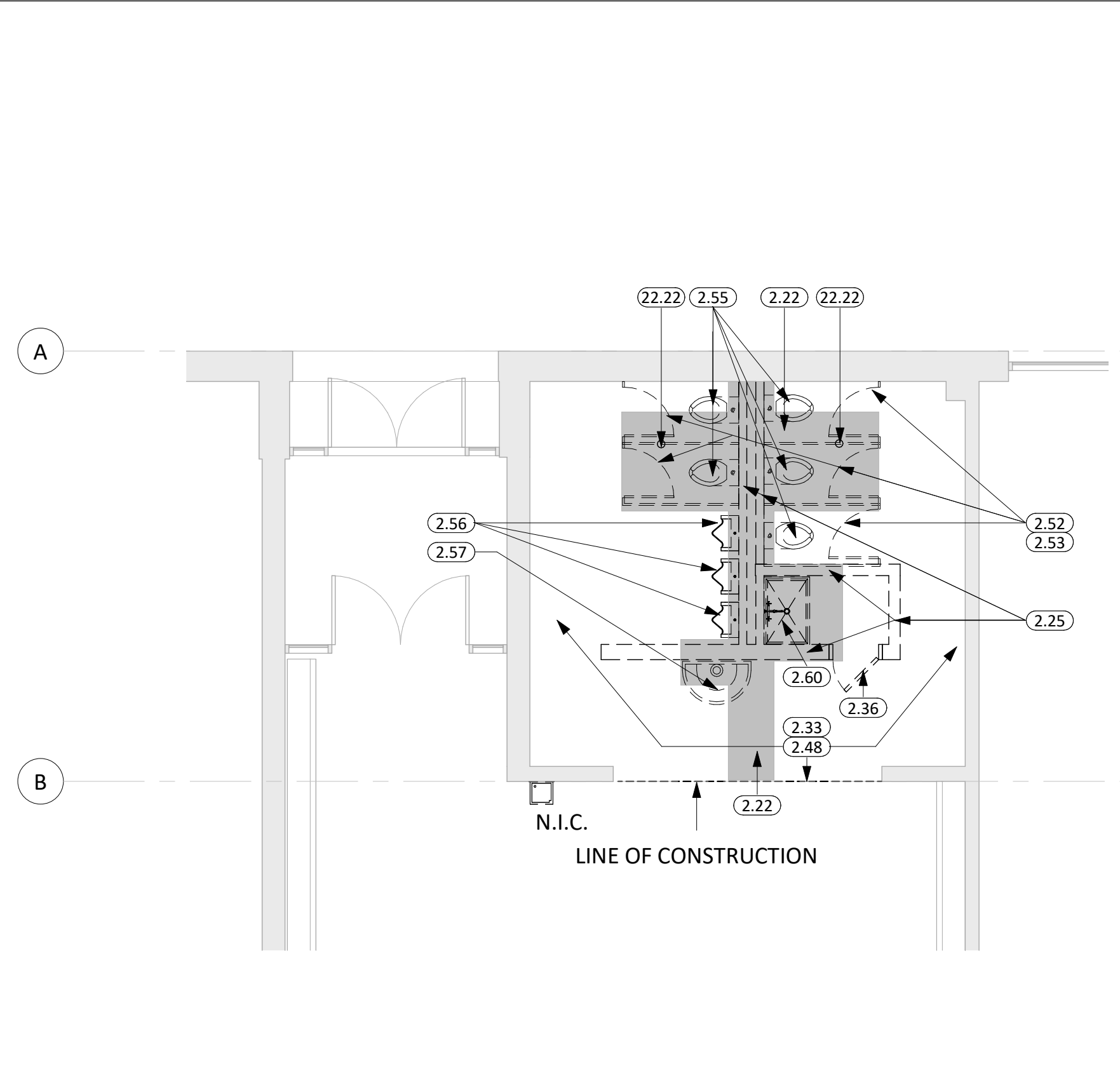
ISSUE:  
11-23-2022 CONSTRUCTION DOCUMENTS

REVISION SCHEDULE:  
REV. # REV. DSC. REV. DATE

PROJECT:  
LINCOLN ELEMENTARY RESTROOM  
RENOVATIONS  
Aberdeen School District 6-1  
ABERDEEN, SOUTH DAKOTA

SHEET TITLE:  
DEMOLITION PLANS & ENLARGED  
FLOOR PLANS

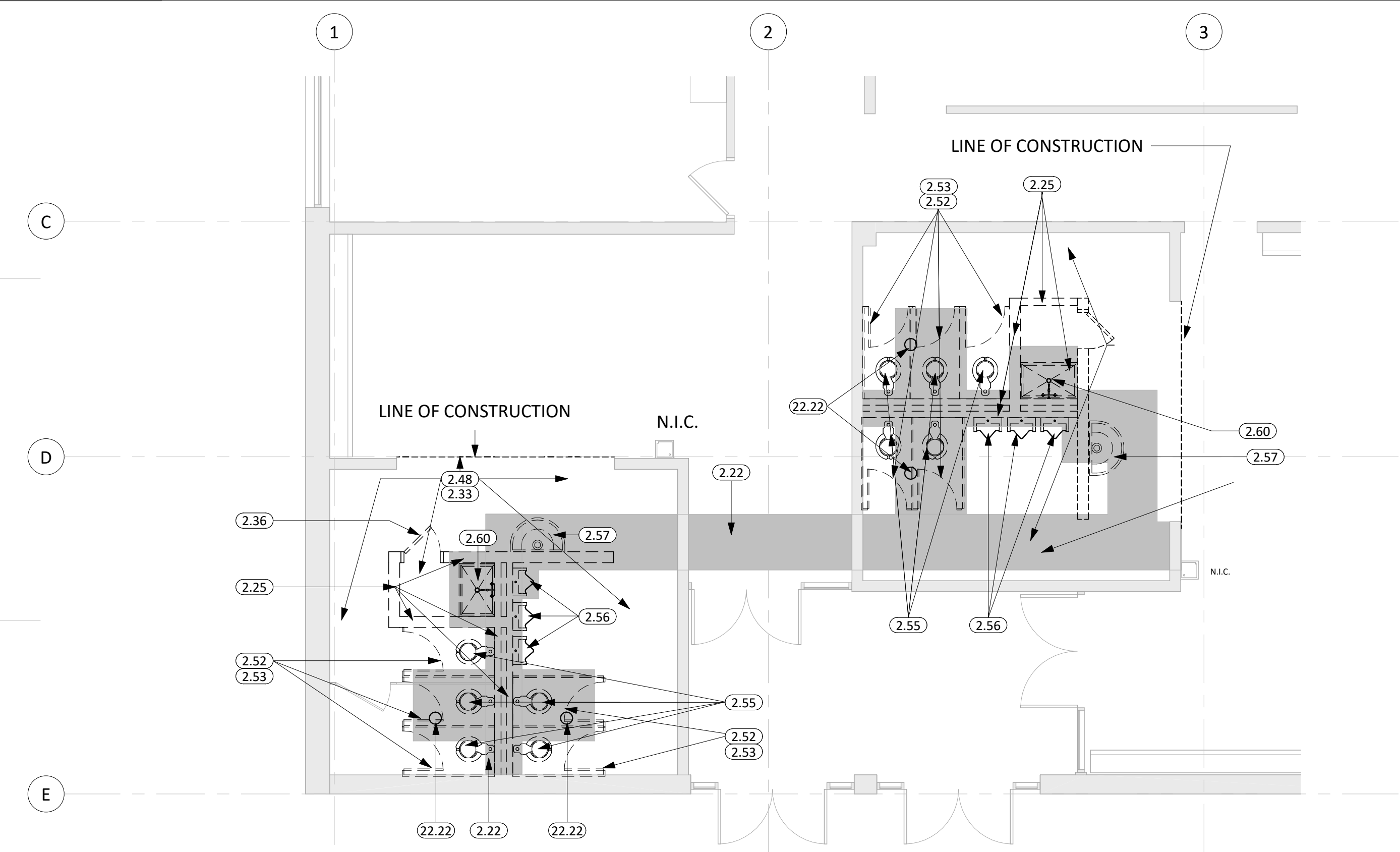
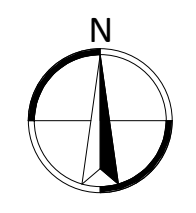
**A100**



DEMOLITION BOY'S - 1 101/GIRL'S - 1  
102/LOBBY - 1 103

1

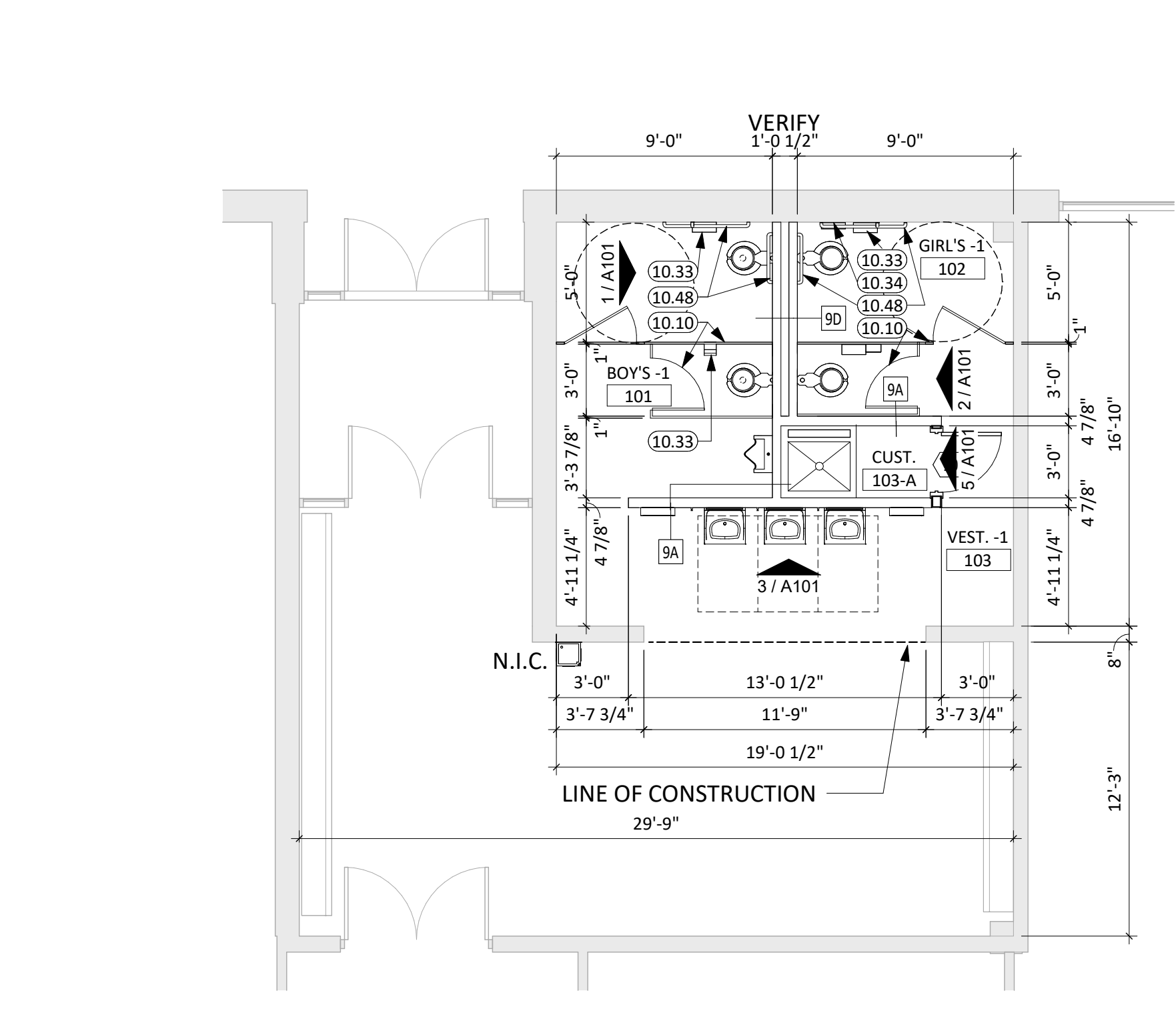
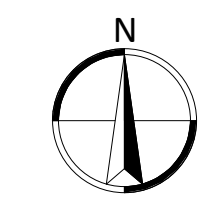
3/16" = 1'-0"



DEMOLITION GIRL'S-2 104/VEST.-2  
105/BOY'S-2 106/BOY'S-3 107/GIRL'S-3  
108/VEST.-3 109

2

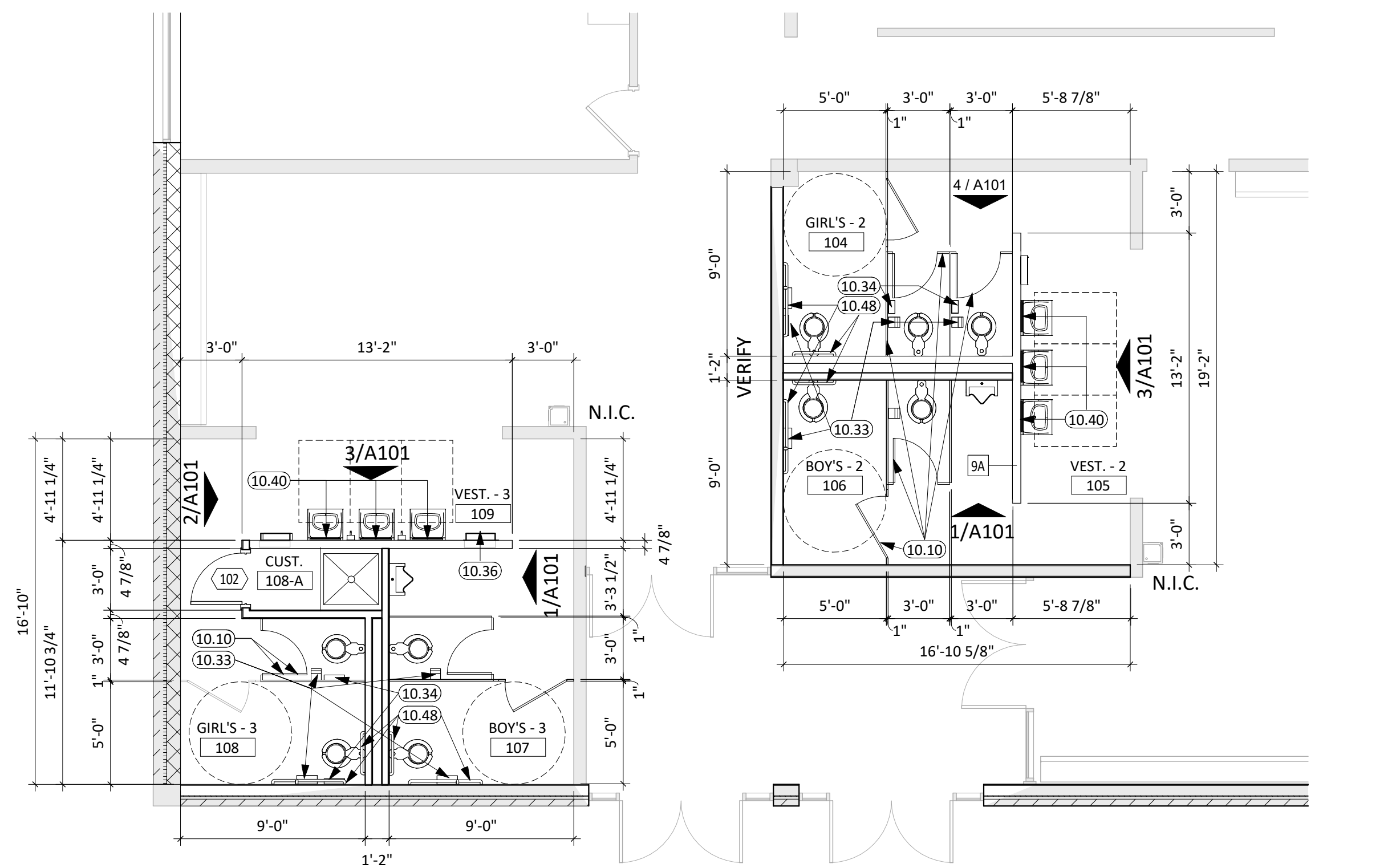
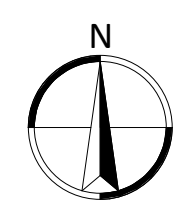
3/16" = 1'-0"



BOY'S-1 101/GIRL'S - 1 102/VEST. - 1  
103/CUST. 103-A

3

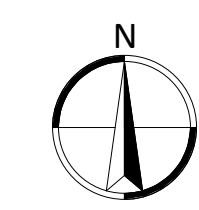
3/16" = 1'-0"



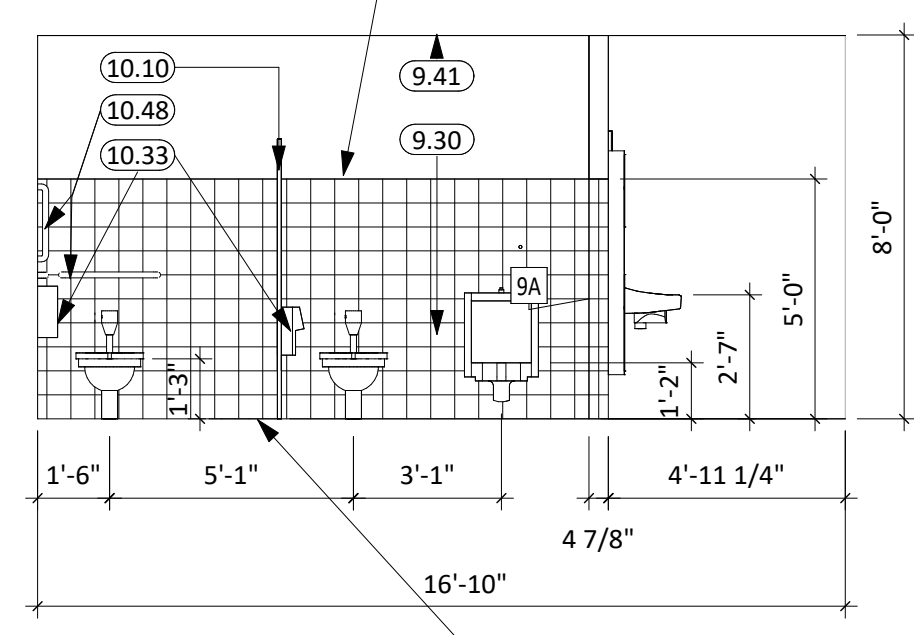
GIRL'S-2 104/VEST.-2 105/BOY'S 2  
106/BOY'S-3 107/GIRL'S-3 108/VEST.-3  
109/CUST. 108-A

4

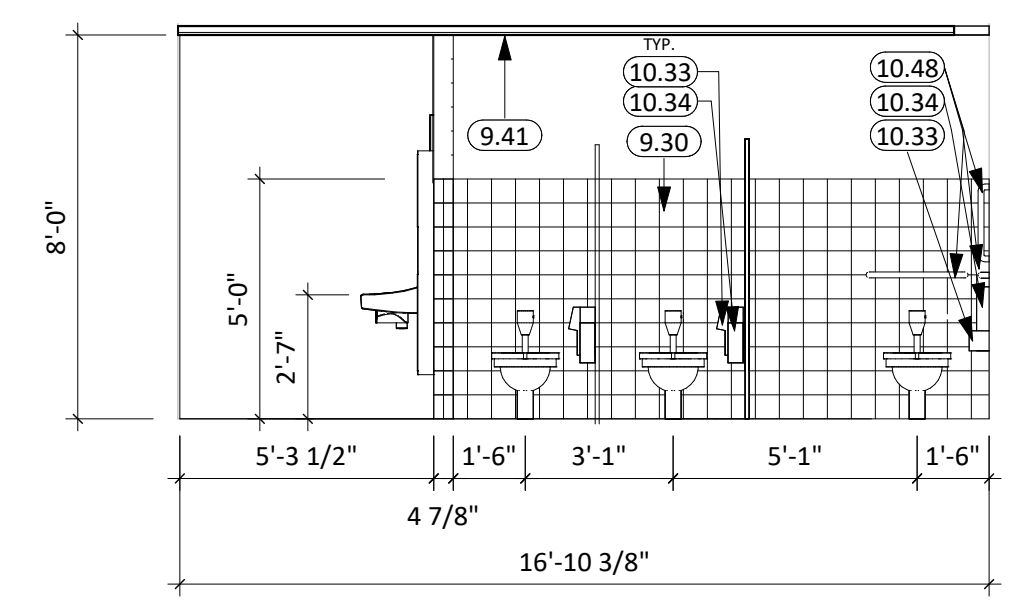
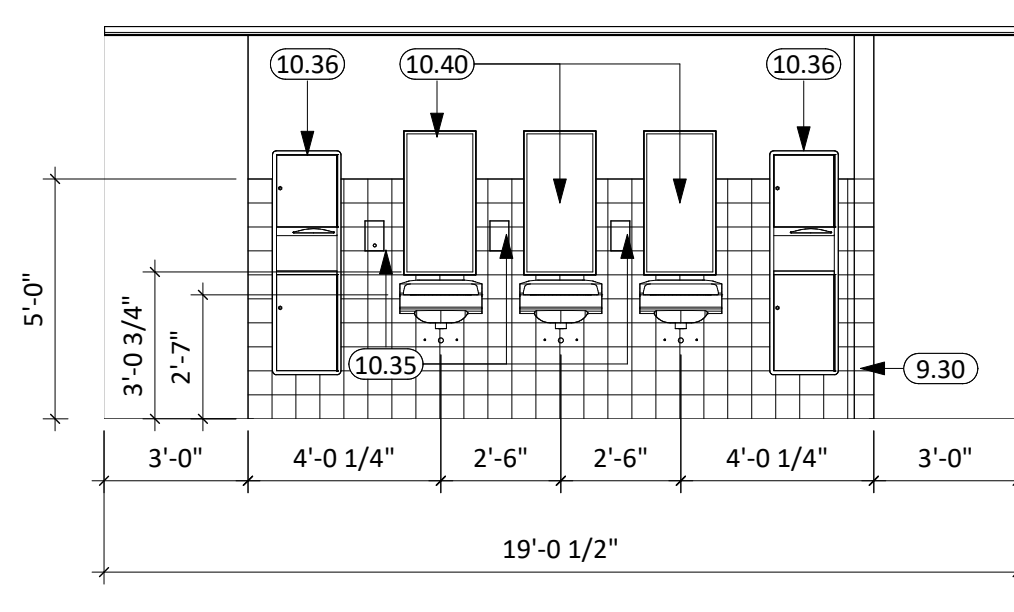
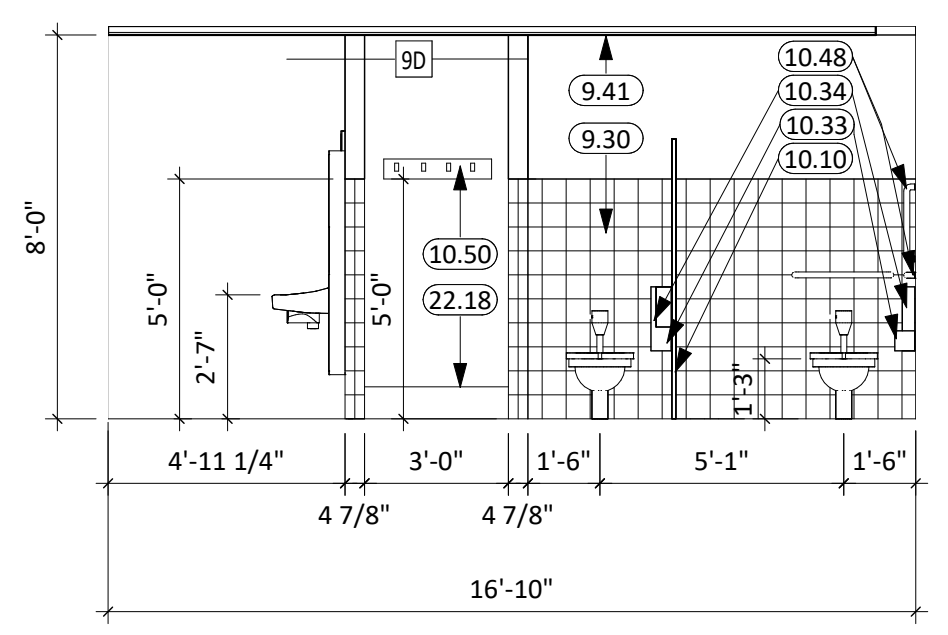
3/16" = 1'-0"



SCHLUTER DILES WALL TRANSITION-TYP.



SCHLUTER DILES WALL TO FLOOR TRANSITION-TYP.



BOY'S-1 101 EAST/BOY'S -2 106  
SOUTH/BOY'S-3 107  
① 1/4" = 1'-0"

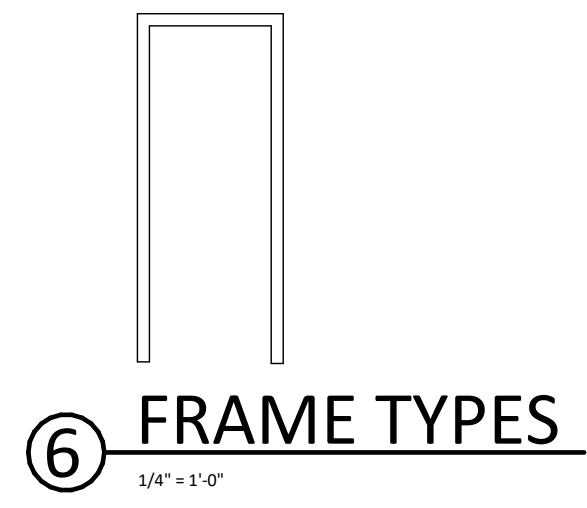
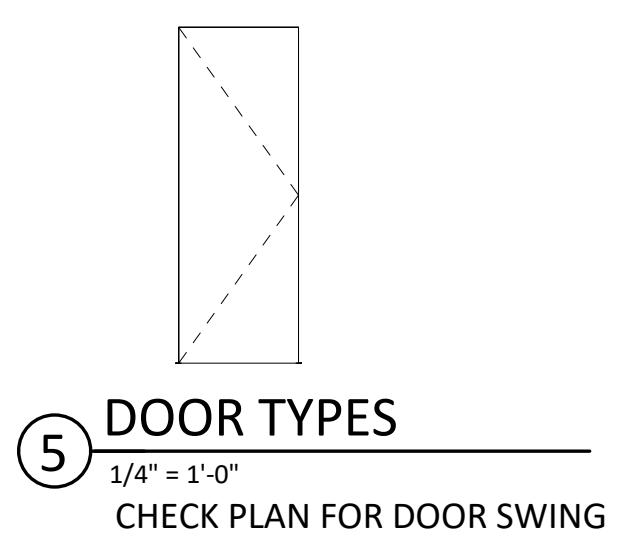
GIRL'S-1 102/VEST.-1 103 WEST  
GIRL'S-3 108 EAST/CUST. 103-A/CUST.  
108-A  
② 1/4" = 1'-0"

VEST.-1 103 NORTH/VEST.-2 105  
WEST/VEST.-3 109 SOUTH  
③ 1/4" = 1'-0"

GIRL'S-2 104 SOUTH  
④ 1/4" = 1'-0"

**DOOR & FRAME SCHEDULE**

NO	DOOR		FRAME		ADDITIONAL NOTES				QTY
	W	H	T	TYPE	MAT'L.	TYPE	MAT'L.		
101	2'-6"	7'-0"	1 3/4"	A	WD	1	HM	PAINT ALL HOLLOW METAL FRAMES	1
102	2'-6"	7'-0"	1 3/4"	A	WD	1	HM	PAINT ALL HOLLOW METAL FRAMES	1



**ROOM FINISH SCHEDULE**

RM#	NAME	FLR FIN.	BASE FIN.	WALL FIN.	CLG FIN.	CLG HT.	NOTES
101	BOY'S -1	PT-1	CT-1	CT-1/P-1	GWB P-3	8'-0"	5'-0" HIGH WAINSCOT OF CT, PAINT ABOVE
102	GIRL'S -1	PT-1	CT-1	CT-1/P-1	GWB P-3	8'-0"	5'-0" HIGH WAINSCOT OF CT, PAINT ABOVE
103	VEST. -1	PT-1	CT-1	CT-1/P-1	GWB P-3	8'-0"	5'-0" HIGH WAINSCOT OF PT AT WET WALL, PAINT ABOVE
103-A	CUST.	PT-1	CT-1	FRP/P1	GWB P-3	8'-0"	5'-0" HIGH WAINSCOT OF FRP BOARD AT WALL SIDES OF MOP SINK PAINT ABOVE
104	GIRL'S -2	PT-1	CT-1	CT-1/P-1	GWB P-3	8'-0"	5'-0" HIGH WAINSCOT OF CT, PAINT ABOVE
105	VEST. -2	PT-1	CT-1	CT-1/P-1	GWB P-3	8'-0"	5'-0" HIGH WAINSCOT OF PT AT WET WALL, PAINT ABOVE
106	BOY'S -2	PT-1	CT-1	CT-1/P-1	GWB P-3	8'-0"	5'-0" HIGH WAINSCOT OF CT, PAINT ABOVE
107	BOY'S -3	PT-1	CT-1	CT-1/P-1	GWB P-3	8'-0"	5'-0" HIGH WAINSCOT OF CT, PAINT ABOVE
108	GIRL'S -3	PT-1	CT-1	CT-1/P-1	GWB P-3	8'-0"	5'-0" HIGH WAINSCOT OF CT, PAINT ABOVE
108-A	CUST.	PT-1	CT-1	FRP/P1	GWB P-3	8'-0"	5'-0" HIGH WAINSCOT OF FRP BOARD AT WALL SIDES OF MOP SINK PAINT ABOVE
109	VEST. -3	PT-1	CT-1	CT-1/P-1	GWB P-3	8'-0"	5'-0" HIGH WAINSCOT OF CT, PAINT ABOVE

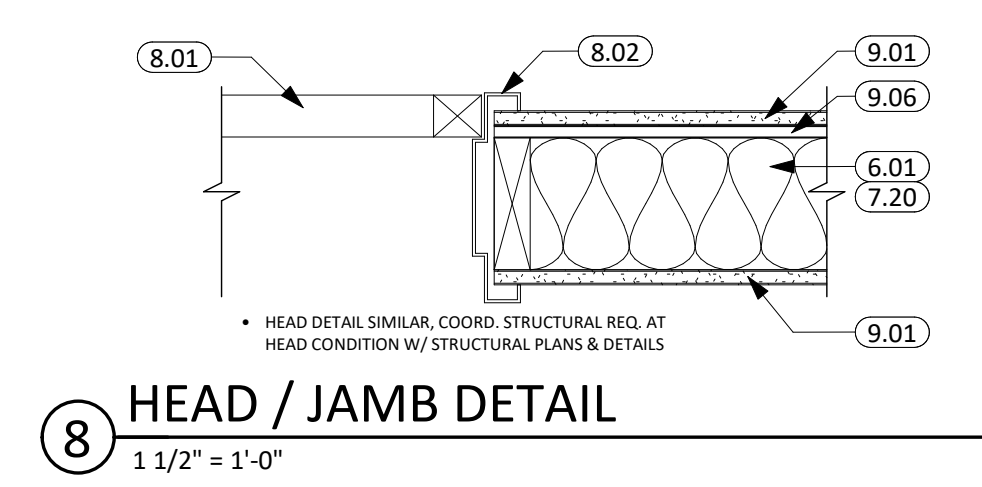
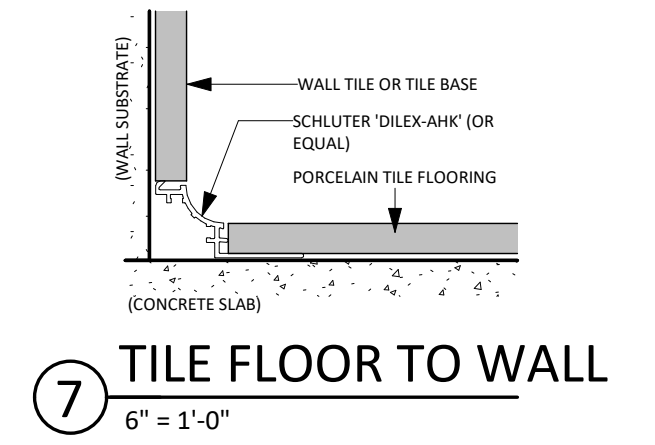
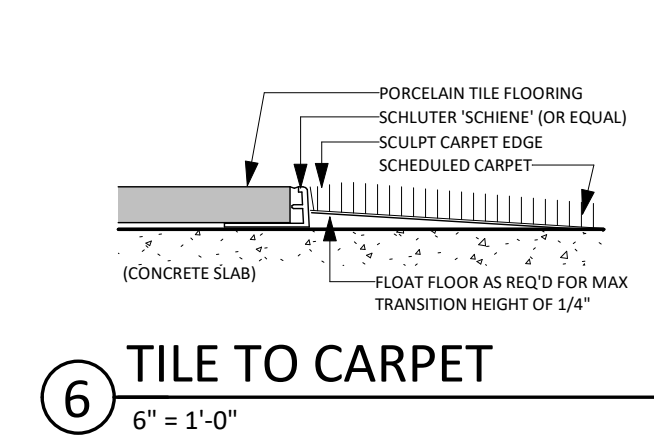
NOTE: NO CT ON EXISTING CMU WALLS/PAINT EXISTING CMU

**FINISH LEGEND**

TYPE	MARK	MANUFACTURER	STYLE	COLOR	STYLE/COLOR NO.	SIZE	INSTALL	NOTES
<b>FLOORING &amp; TILING</b>								
CERAMIC &...	PT-1	AMERICAN OLEAN	UNGLAZED MOSAICS	SALT & PEPPER	OA12	2" X 2"	STACKED BOND	FLOOR TILE USE 2/ GRT-1
<b>PAINT &amp; WALL COVERINGS</b>								
PAINT	P-1	SHERWIN WILLIAMS	PERMACRYL INTERIOR	NAVAJO WHITE	SW 6126			SEMI GLOSS
	P-2	SHERWIN WILLIAMS	PROMAR 200 INTER....	BLACK FOX	SW 7020			HOLLOW METAL DOOR FRAMES - SEMI GLOSS
	P-3	SHERWIN WILLIAMS	ELEVATE INTER....	EXTRA WHITE	SW 7006			RESTROOM CEILING PAINT
<b>WALL BASE, TRANSITIONS &amp; MISC. TRIMS</b>								
	CT-1	DAHLTILE	MATTE WALL GLAZED	ARTIC WHITE	0790	6" X 6"	STACKED BOND	
SCHLUTER		SCHLUTER		SATIN ANODIZED	AE			
<b>MISCELLANEOUS</b>								
PARTITIONS	TP	SCRANTON	HINY HIDERS	TBD				FLOOR MOUNTED, OVERHEAD BRACED

**KEYNOTE SCHEDULE**

6.01	2x WOOD STUD FRAMING @ 16" O.C. (SEE PLAN)
7.20	BATT INSULATION
8.01	DOOR (SEE SCHED.)
8.02	FRAME (SEE SCHED.)
9.01	GYPSUM SHAFT WALL
9.06	1/2" RESILIENT SOUND CHANNEL
9.30	CERAMIC TILE
9.41	ACOUSTICAL TILE CEILINGS SYSTEM (COORD. w/ MECH. & ELEC. FOR FIXTURE REQ./LOCATIONS)
10.10	TOILET PARTITION, BASIS OF DESIGN SCRANTON HINY HIDERS
10.33	TOILET TISSUE DISPENSER PROVIDED BY AND INSTALLED BY OWNER
10.34	SANITARY NAPKIN DISPOSAL PROVIDED BY AND INSTALLED BY OWNER
10.35	SOAP DISPENSER PROVIDED BY AND INSTALLED BY OWNER
10.36	PAPER TOWEL DISPENSER PROVIDED BY AND INSTALLED BY OWNER
10.40	MIRROR w/SS TRIM, BASIS OF DESIGN BOBRICK B-165
10.48	GRAB BAR
10.50	MOP & BROOM HOLDER
22.18	MOP SINK - SEE M/E



CO-OP PROJECT NO: 2259



ISSUE:  
11-23-2022 CONSTRUCTION DOCUMENTS

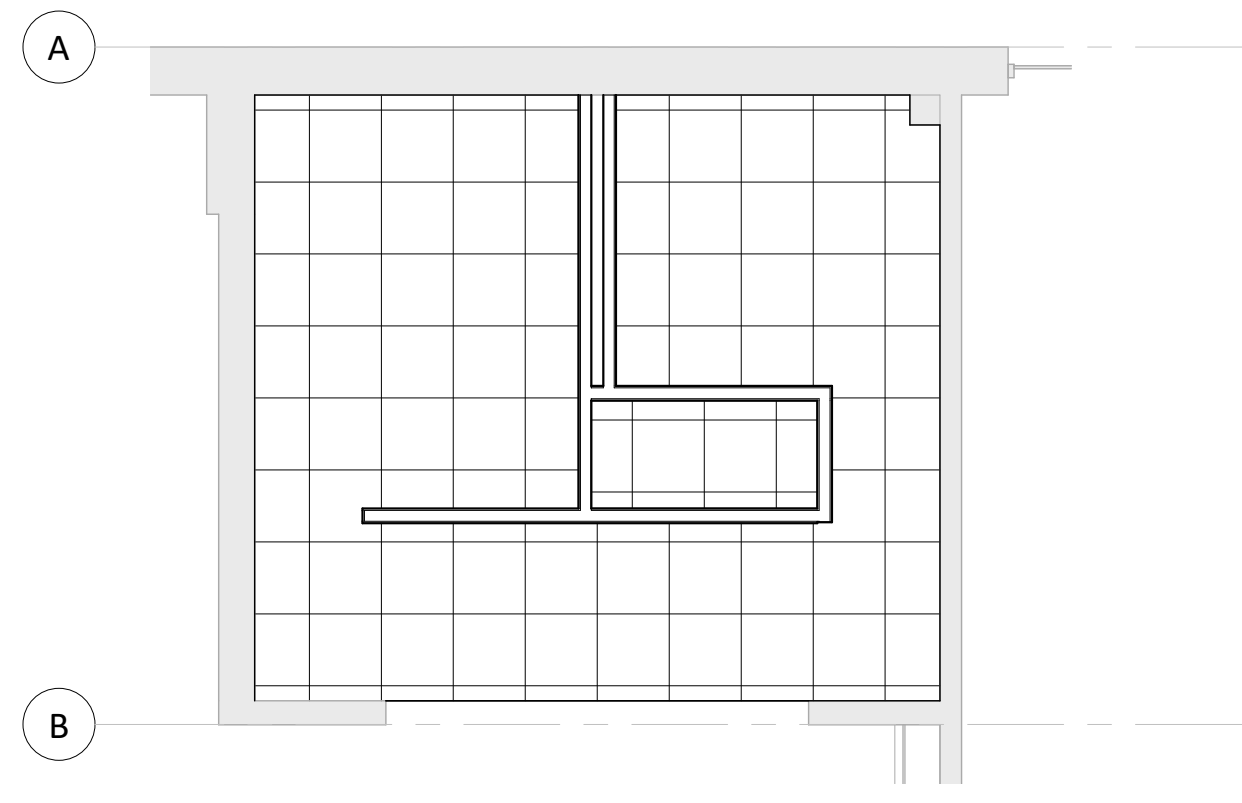
REVISION SCHEDULE:  
REV. # REV. DSC. REV. DATE

PROJECT:  
LINCOLN ELEMENTARY RESTROOM  
RENOVATIONS  
Aberdeen School District 6-1  
ABERDEEN, SOUTH DAKOTA

SHEET TITLE:  
INTERIOR ELEVATIONS, ROOM  
FINISH SCHEDULE, FINISH  
LEGEND, MISC. DETAILS

**A101**



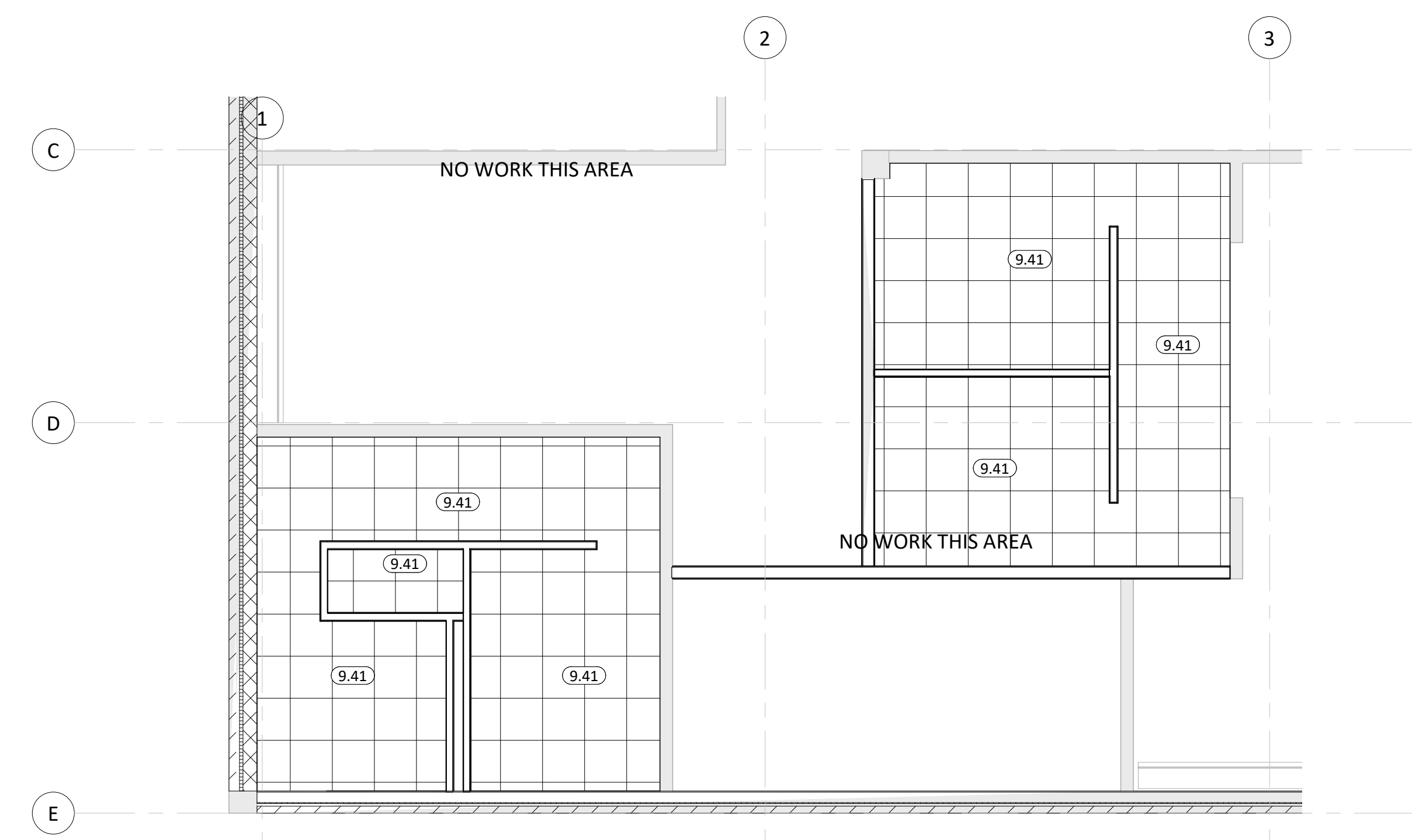
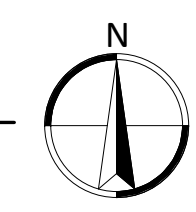


NOTE: SEE ELECTRICAL E200 FOR LIGHTING LAYOUT

**REFLECTED CEILING PLAN - BOY'S-1**

101/GIRL'S-1 102/VEST.-1 103

3/16" = 1'-0"



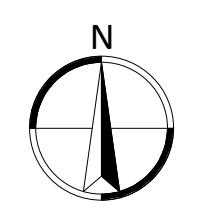
NOTE: SEE ELECTRICAL E200 FOR LIGHTING LAYOUT

**REFLECTED CEILING PLAN - GIRL'S-2**

1104/VEST.-2 105/BOY'S-2  
106/BOBOY'S-3 107/GIRL'S-3

108VVEST-3 109

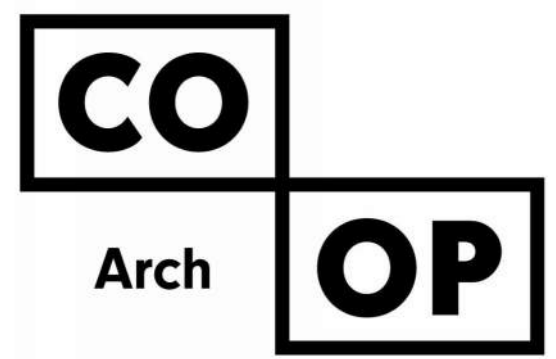
3/16" = 1'-0"



- GENERAL NOTES**
1. ALL DIMENSIONS ARE FROM FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED.
  2. REFER TO SPECIFICATIONS FOR CEILING AND FIXTURE SUSPENSION REQUIREMENTS.
  3. PROVIDE ACCESS DOORS AT MECHANICAL UNIT LOCATIONS ABOVE CEILING. COORDINATE NUMBER REQUIRED AND LOCATIONS WITH MECHANICAL SHEET
  4. CENTER LIGHT FIXTURES BETWEEN WALLS AND/OR CEILING BULKHEADS UNLESS OTHERWISE DIMENSIONED.
  5. THE REFLECTED CEILING PLANS ARE INTENDED TO AID IN COORDINATION ONLY AND ARE NOT INTENDED TO BE COMPREHENSIVE. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. NOTIFY ARCHITECT WHERE CONFLICTS OCCUR.
  6. PROVIDE WATER-RESISTANT GYPSUM BOARD PANELS AT ALL BATHROOM WALLS AND ANY WALLS EXPOSED TO MOISTURE.
  7. VERIFY FINAL LOCATION OF ROOF HATCH WITH EXISTING CONDITIONS AND M/E CONTRACTOR AND M/E DRAWINGS.

**KEYNOTE SCHEDULE**

9.41	ACOUSTICAL TILE CEILINGS SYSTEM (COORD. w/ MECH. & ELEC. FOR FIXTURE REQ./LOCATIONS)
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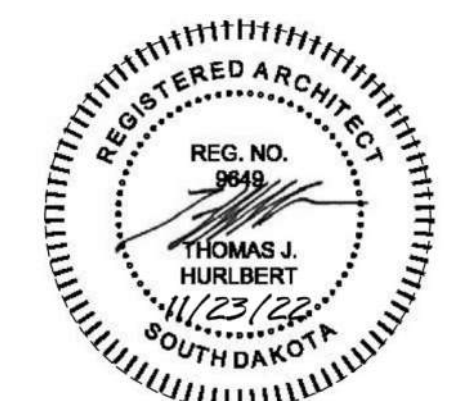
1108 S. Main St. 102  
Aberdeen, SD 57401  
Phone: 605-725-4852

601 Kansas City St. 7  
Rapid City, SD 57701  
Phone: 605-716-3652

440 E. 8th St. 221  
Sioux Falls, SD 57103  
Phone: 605-334-9999

co-oparch.com

CO-OP PROJECT NO: 2259

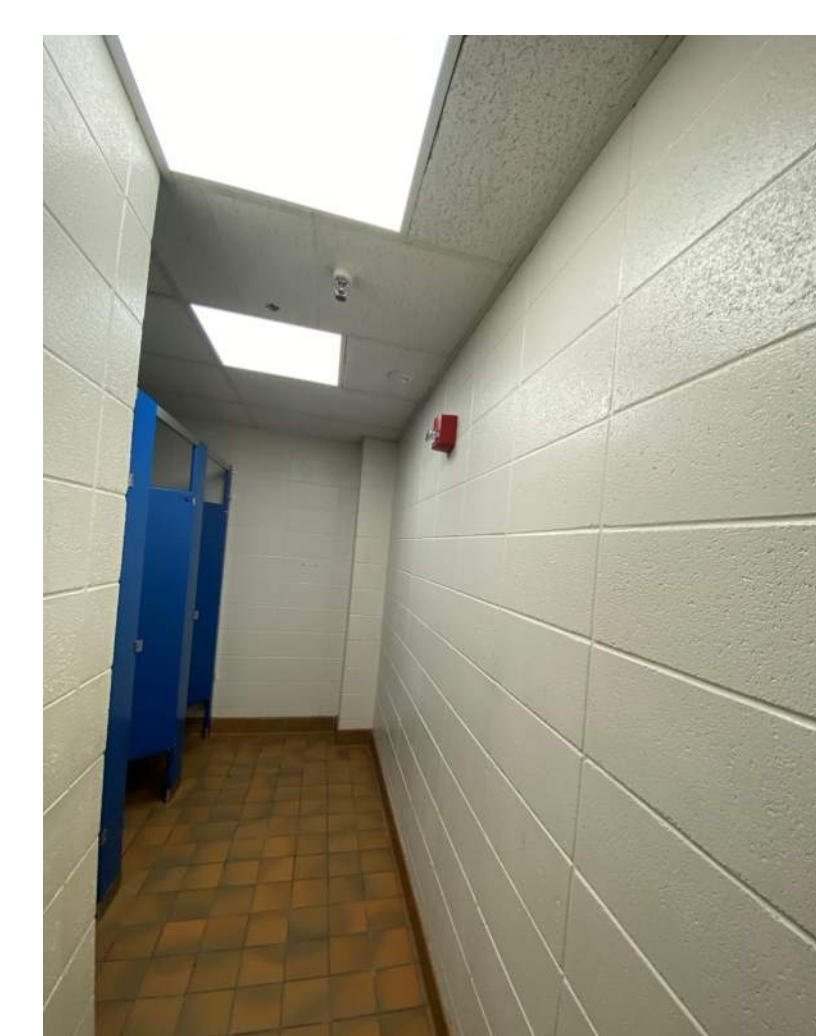
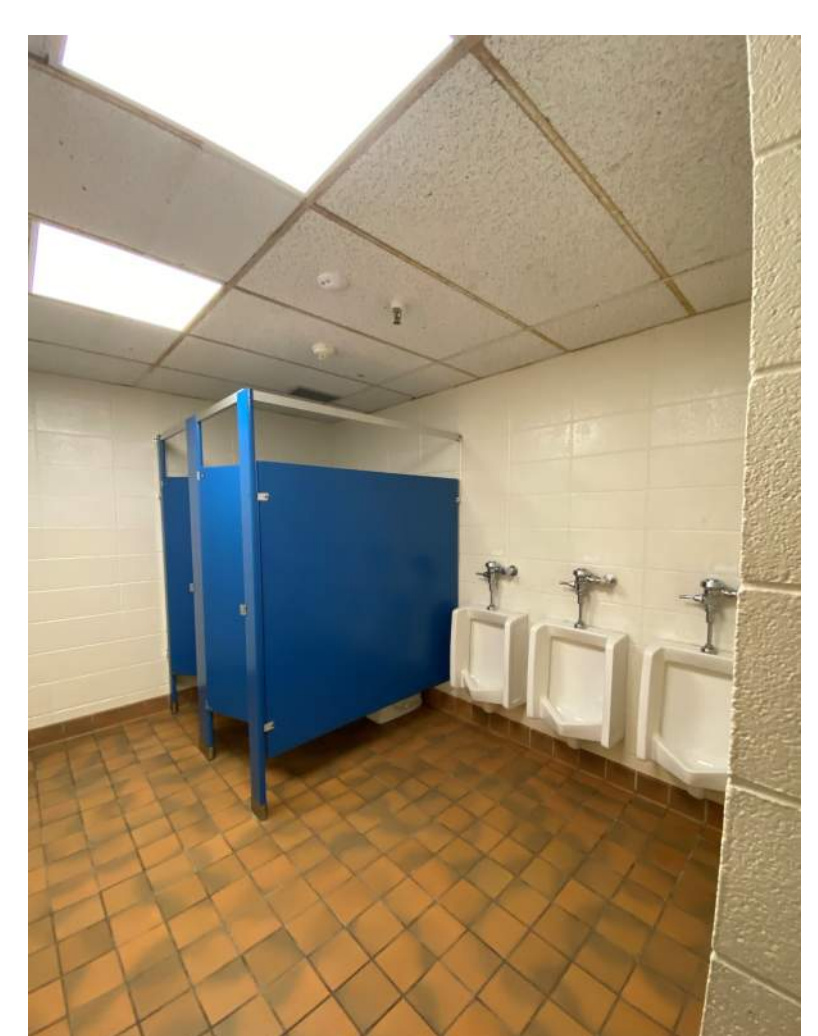
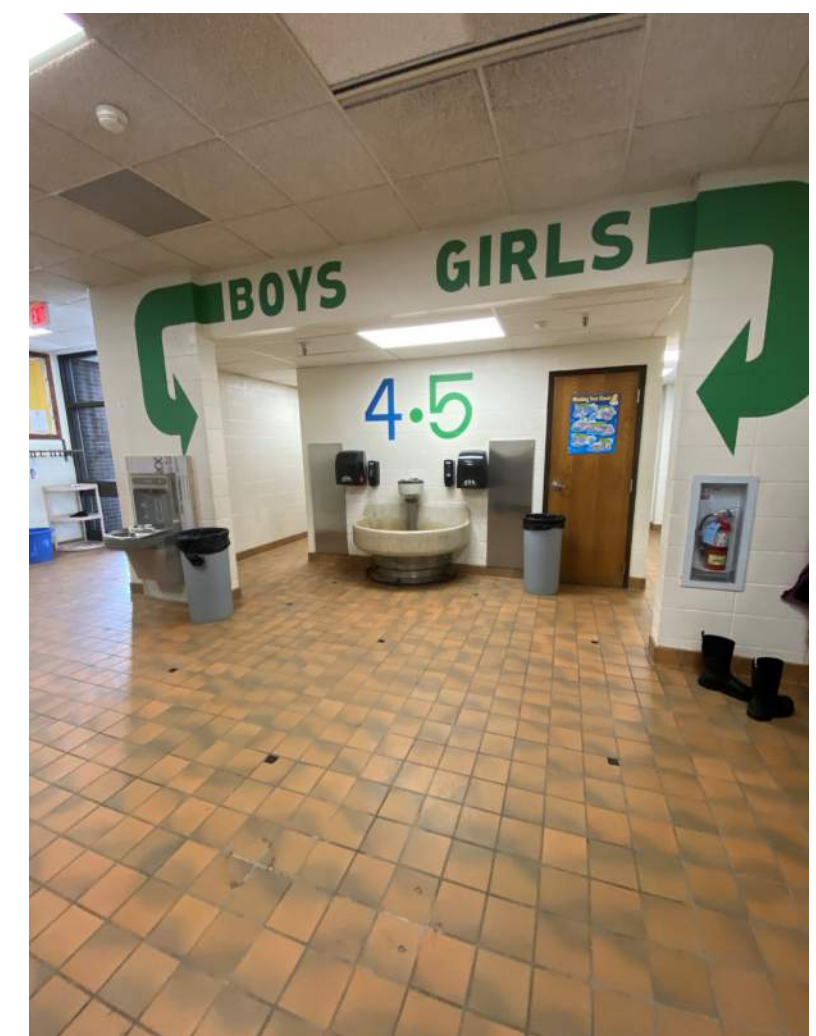
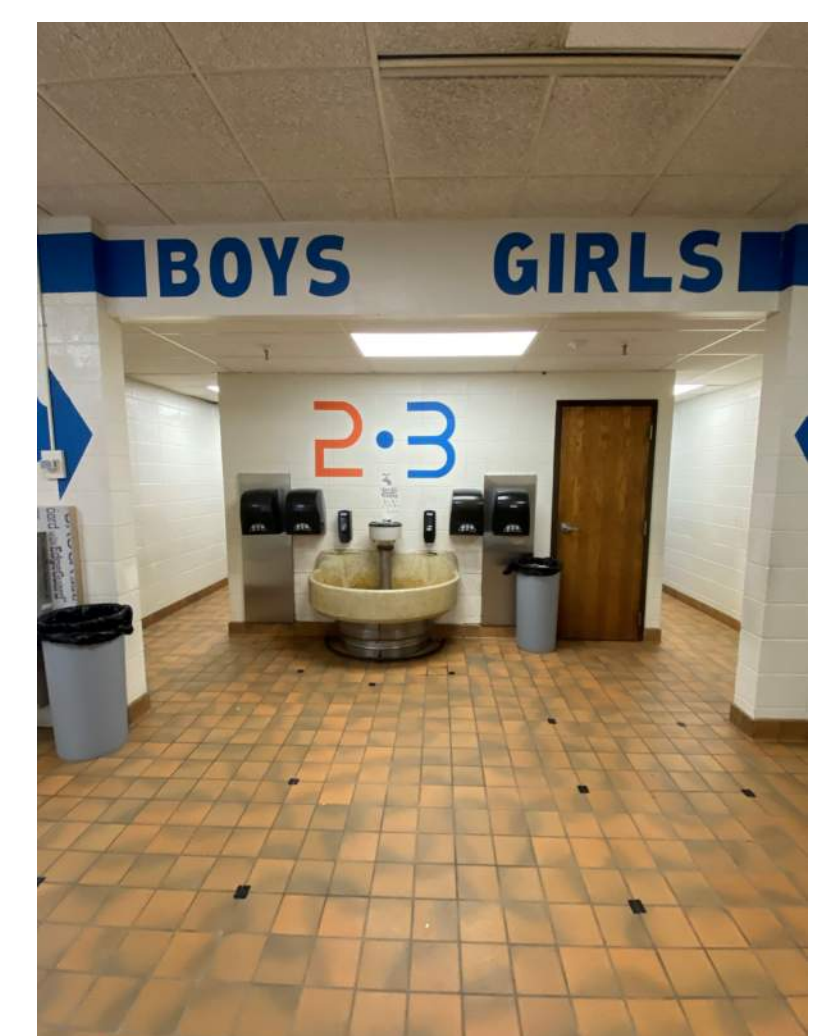


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LINCOLN ELEMENTARY RESTROOM  
RENOVATIONS  
Aberdeen School District 6-1  
ABERDEEN, SOUTH DAKOTA

SHEET TITLE:  
REFLECTED CEILING PLANS



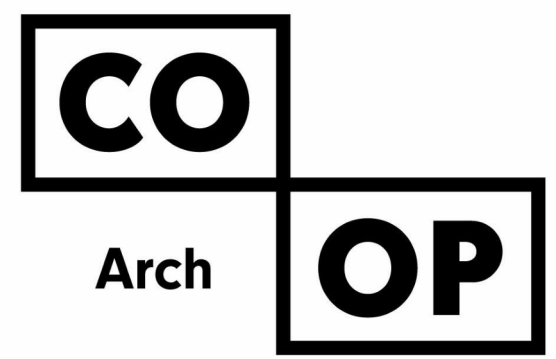
EXISTING CONDITIONS PHOTOS

**A102**



# LINCOLN ELEMENTARY RESTROOM RENOVATIONS

## ABERDEEN SCHOOL DISTRICT ABERDEEN, SOUTH DAKOTA



1108 S. Main St. 102  
Aberdeen, SD 57401  
Phone: 605-725-4852

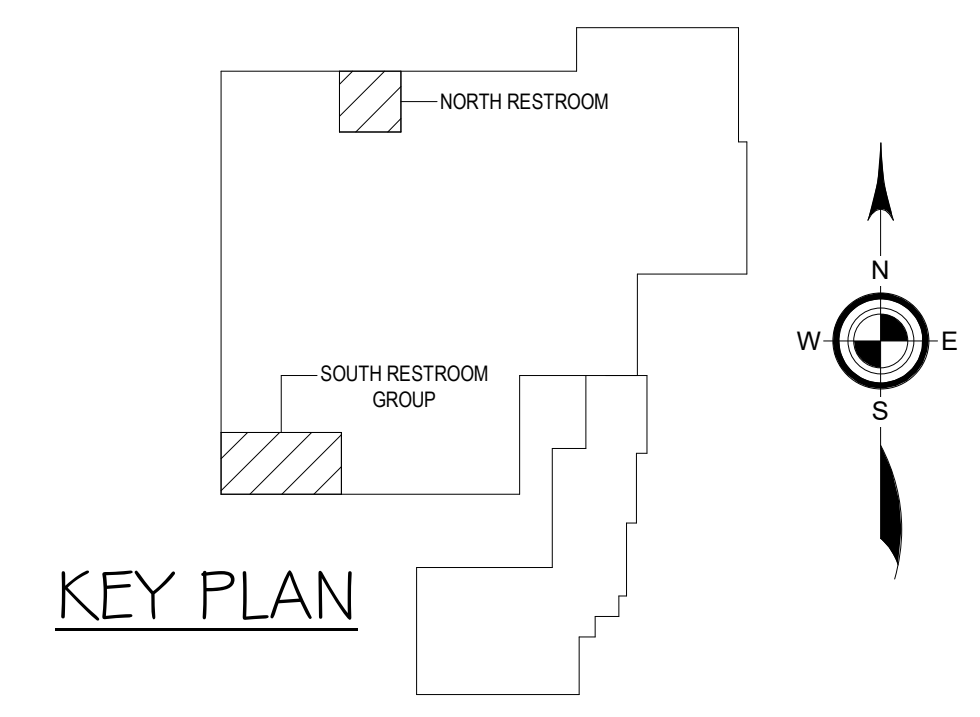
601 Kansas City St. 7  
Rapid City, SD 57701  
Phone: 605-716-3652

440 E. 8th St 221  
Sioux Falls, SD 57103  
Phone: 605-334-9999

co-oparch.com

- SPECIAL NOTES:**
- HVAC CONTRACTOR TO INCLUDE ALL TEMPERATURE CONTROL WORK NEEDED AND WORK TO BE DONE BY JOHNSON CONTROLS, CONTACT GREG HINTGEN @ PHONE 605-362-5315.
  - IN AREAS WHERE EXISTING CEILINGS ARE TO REMAIN, EACH TRADE SHALL BE RESPONSIBLE FOR ANY DAMAGE OR REPAIR NEEDED TO EXISTING CEILINGS AS A RESULT OF THEIR WORK.
  - PC, VC, EC, OR TC TO BE RESPONSIBLE FOR CUTTING AND PATCHING AS NECESSARY TO ALLOW FOR COMPLETION OF THEIR WORK.
  - GLYCOL SOLUTION:
    - THE EXISTING GLYCOL SOLUTION IS 30% ETHYLENE GLYCOL USING DOWTHERM SR-1. ANY NEW GLYCOL NEEDED FOR THE PROJECT SHALL BE DOWTHERM SR-1.
    - THE PLUMBING/HYDRONICS CONTRACTOR SHALL PROVIDE INDEPENDENT ANALYSIS OF EXISTING HYDRONICS SOLUTION PRIOR TO PROPOSED WORK TO DETERMINE EXACT GLYCOL AND COMPOSITION, ETC.
      - SUBMIT ANALYSIS/RECOMMENDATIONS TO SICHMELLER ENGINEERING & OWNER.
      - THIS CONTRACTOR SHALL BE RESPONSIBLE FOR PUMPING IN ANY ADJUSTMENTS PROVIDED BY THE OWNER PRIOR TO BEGINNING ANY WORK ON THE SYSTEM.
    - THE PLUMBING/HYDRONICS CONTRACTOR SHALL BE RESPONSIBLE FOR DRAINING AND STORING THE CURRENT GLYCOL SOLUTION AND BE RESPONSIBLE FOR CLEANING AND FLUSHING THE NEW SYSTEM PIPING. UPON COMPLETION OF THE SYSTEM FLUSHING, THE HEATING/CHILLED SYSTEM GLYCOL SOLUTION SHALL BE PUMPED BACK IN.
    - AFTER PROPOSED WORK IS COMPLETE THE PLUMBING/HYDRONICS CONTRACTOR TO PROVIDE A COMPLETE INDEPENDENT ANALYSIS TO CONFIRM 30% PROPYLENE GLYCOL % AND TREATMENT.
      - SUBMIT ANALYSIS/RECOMMENDATIONS TO SICHMELLER ENGINEERING & OWNER.
      - PROVIDE RECOMMENDED ADJUSTMENTS AND RETEST AS NECESSARY UNTIL RESULTS ARE SATISFACTORY.

MECHANICAL & ELECTRICAL SHEET INDEX	
Sheet Number	Sheet Name
EM100	LEGENDS & SHEET INDEX
M200	PLUMBING & HYDRONICS DEMOLITION PLAN
M300	PROPOSED PLUMBING & HYDRONICS PLAN
M400	PLUMBING FIXTURE SCHEDULE
M500	HVAC & FIRE PROTECTION PLAN
E200	ELECTRICAL PLAN



### MECHANICAL LEGEND

<p>EXHAUST GRILLE</p> <p>RETURN AIR GRILLE</p> <p>SUPPLY AIR REGISTER</p> <p>FLEX DUCT</p> <p>ROOF VENTILATOR EXHAUST</p> <p>THERMOSTAT</p> <p>SENSOR</p> <p>ZONE STAT</p> <p>HUMIDISTAT</p> <p>ELBOW UP</p> <p>ELBOW DN</p> <p>RECT. DUCT NEG. PRESSURE</p> <p>ELBOW UP</p> <p>ELBOW DN</p> <p>RECT. DUCT POS. PRESSURE</p>	<p>EQUIPMENT TAG</p> <p>EQUIPMENT NO.</p> <p>TRENCH DRAIN (TD)</p> <p>FLOOR DRAIN (FD)</p> <p>CLEAN OUT (CO)</p> <p>FLOOR SINK (FS)</p> <p>ROOF DRAIN (RD)</p> <p>OVERFLOW ROOF DRAIN (ORD)</p> <p>BALL VALVE OR ISO VALVE - (I.V.)</p> <p>CONNECT TO EXISTING (EXG)</p> <p>CAST IRON PIPE (C.I.P.)</p> <p>POWER ROOF VENTILATOR (PRV)</p> <p>ZONE DAMPER</p> <p>VOLUME DAMPER</p> <p>MOTORIZED DAMPER</p> <p>COMBINATION SMOKE &amp; FIRE DAMPER</p> <p>BACKDRAFT DAMPER</p> <p>SMOKE DAMPER</p> <p>FIRE DAMPER</p> <p>DAMPER</p>	<p># OF DETAIL</p> <p># OF SHEET WHERE DETAIL APPEARS</p> <p># OF SECTION</p> <p># OF SHEET WHERE SECTION APPEARS</p> <p>TEMPERATURE GAUGE</p> <p>EXISTING (EXG)</p> <p>VENT (V)</p>	<p>GREASE</p> <p>GREASE - SANITARY SEWER (W)</p> <p>WASTE - SANITARY SEWER (W)</p> <p>UG</p> <p>UNDERGROUND NATURAL GAS (UG)</p> <p>NATURAL GAS (G)</p> <p>ULP</p> <p>UNDERGROUND LIQUID PROPANE (ULP)</p> <p>LP</p> <p>LIQUID PROPANE (LP)</p> <p>VENT PIPING (V)</p> <p>LPS</p> <p>LOW PRESSURE STEAM (LPS)</p> <p>LPC</p> <p>STEAM CONDENSATE (LPC)</p> <p>DOMESTIC COLD WATER (CW)</p> <p>DOMESTIC HOT WATER (HW)</p> <p>DOMESTIC HOT WATER RECIRC (DHWR)</p> <p>CD</p> <p>CONDENSATE DRAIN (CD)</p> <p>RO-CW</p> <p>REVERSE OSMOSIS (RO-CW)</p> <p>SOFT-CW</p> <p>SOFTENED CW (SOFT-CW)</p> <p>ST</p> <p>STORM DRAIN (ST)</p> <p>ST</p> <p>BELOW GRADE STORM DRAIN (ST)</p> <p>OST</p> <p>OVERFLOW STORM DRAIN (OST)</p> <p>RS</p> <p>REFRIGERANT SUCTION PIPE (RS)</p> <p>RL</p> <p>REFRIGERANT LIQUID (RL)</p> <p>HWS</p> <p>HEATING WATER SUPPLY (HWS)</p> <p>HWR</p> <p>HEATING WATER RETURN (HWR)</p> <p>GTR</p> <p>GEO THERMAL RETURN (GTR)</p> <p>GTS</p> <p>GEO THERMAL SUPPLY (GTS)</p> <p>CWR</p> <p>CHILLED WATER RETURN (CWR)</p> <p>CWS</p> <p>CHILLED WATER SUPPLY (CWS)</p> <p>CHR</p> <p>CHILLED &amp; HEATING WATER RETURN (CHR)</p> <p>CHS</p> <p>CHILLED &amp; HEATING WATER SUPPLY (CHS)</p> <p>PD</p> <p>PUMP DISCHARGE (PD)</p> <p>CA</p> <p>COMPRESSED AIR (CA)</p>
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### ELECTRICAL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
S	SINGLE POLE SWITCH	#	LIGHTING FIXTURE	☉	SMOKE DETECTOR
S <sub>3</sub>	THREE WAY SWITCH	E	EMERGENCY BALLAST	☉	HEAT DETECTOR (FT = FIXED TEMPERATURE)
S <sub>4</sub>	FOUR WAY SWITCH	NL	NIGHT LIGHT	M	MANUAL PULL STATION
S <sub>LV</sub>	LOW VOLTAGE PUSH BUTTON SWITCH	##	FIXTURE ID TAG	XX	HORN/STROBE XX CANDELA RATING
S <sub>D</sub>	DIMMER SWITCH	a,b	CNTRL/RELAY ID TAG	XX	STROBE ONLY XX CANDELA RATING
S <sub>T</sub>	TIMER SWITCH			FACP	FIRE ALARM CONTROL PANEL
S <sub>O</sub>	OCCUPANCY SENSOR			ANNC	FIRE ALARM ANNUCIATOR PANEL
S <sub>P</sub>	PILOT LIGHT SWITCH			TS	TAMPER SWITCH
S <sub>K</sub>	KEYED SWITCH			FS	FLOW SWITCH
S <sub>F</sub>	VARIABLE SPEED FAN SWITCH			BT	BEAM TRANSMITTER
OS1	OCCUPANCY SENSOR - CEILING MOUNTED			REC	BEAM RECEIVER
PR	POWER PACK FOR LOW VOLTAGE OCCUPANCY SENSOR			SD	SMOKE DAMPER
	DUPLEX RECEPTACLE			MD	MOTORIZED DAMPER
	GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE			DSD	DUCT SMOKE DETECTOR
	DROP CORD RECEPTACLE (SEE DETAILS)			DS	DOOR STRIKE
	250V 4-WIRE RECEPTACLE			CR	CARD READER/KEYPAD
	DOUBLE DUPLEX RECEPTACLE				DISCONNECT (F = FUSED)
	TOP SWITCHED DUPLEX RECEPTACLE				COMBINATION STARTER
	SPECIAL OUTLET				RELAY
XX	DATA/PHONE OUTLET				CONNECT TO EXISTING
XX	INDICATES NO. OF JACKS				VARIABLE FREQUENCY DRIVE
54"	WALL PHONE OUTLET			WG	WIRE GUARD
	CEILING DATA/PHONE OUTLET			WP	WEATHER PROOF
	FLOOR BOX WITH POWER AND DATA			AC	ABOVE COUNTER
	FLOOR BOX WITH POWER ONLY			UC	UNDER COUNTER
S <sub>M</sub>	MANUAL MOTOR STARTER			UPS	UNINTERRUPTIBLE POWER SUPPLY
	MOTOR CONNECTION			EXG	EXISTING

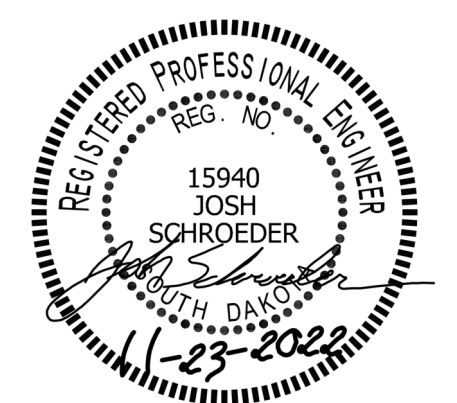
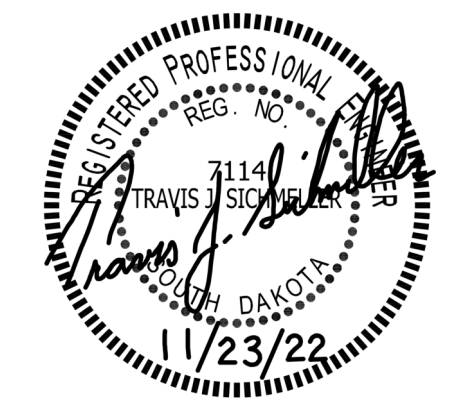
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SE PROJECT NO: 221000774



ISSUE:  
11-23-22 CONSTRUCTION DOCUMENTS

REVISION SCHEDULE:  
REV. # REV. DSC. REV. DATE

PROJECT:  
LINCOLN ELEMENTARY  
RESTROOM RENOVATIONS  
ABERDEEN SCHOOL DISTRICT  
ABERDEEN, SOUTH DAKOTA

SHEET TITLE:  
LEGENDS & SHEET INDEX

# EM100

MECHANICAL GENERAL NOTES:

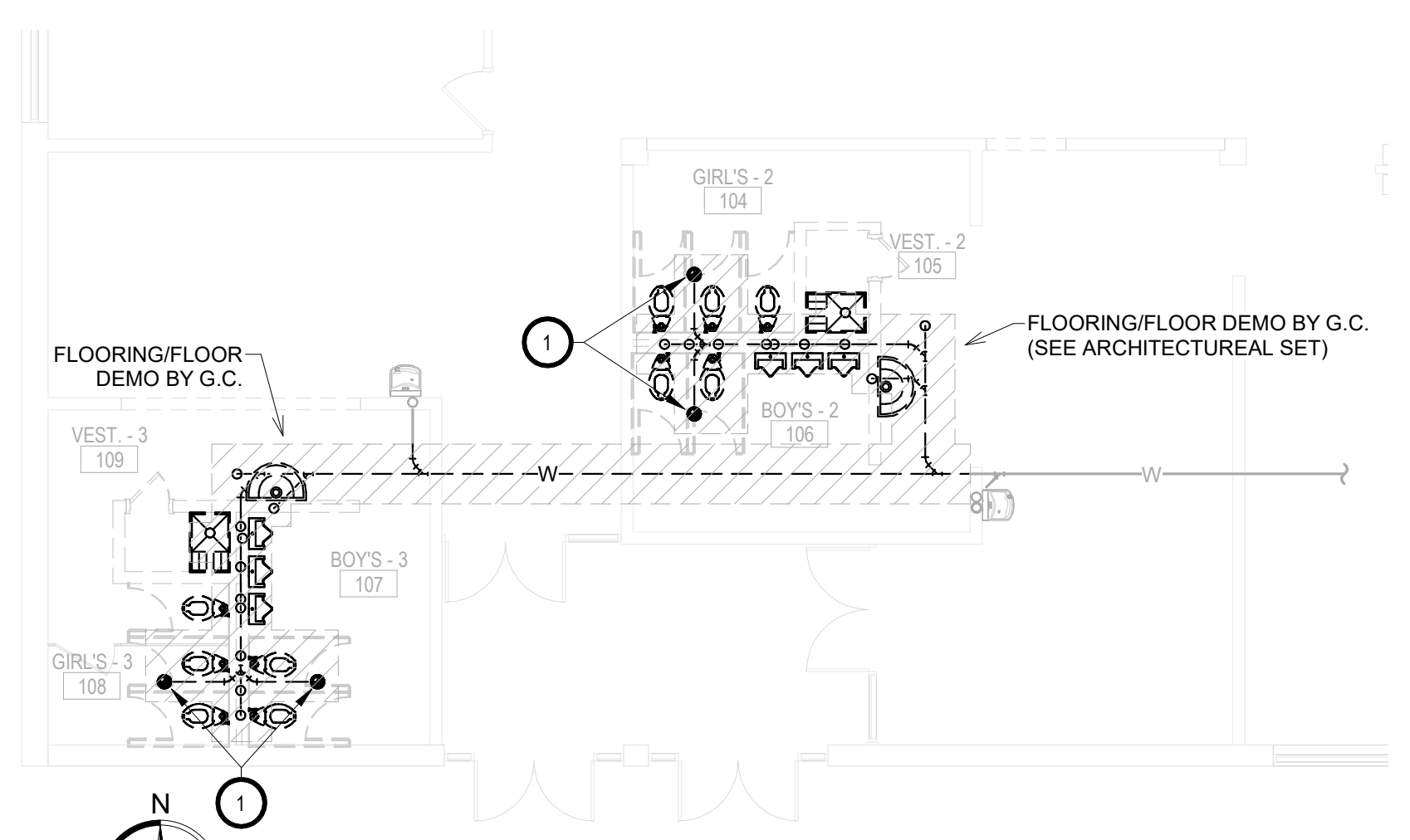
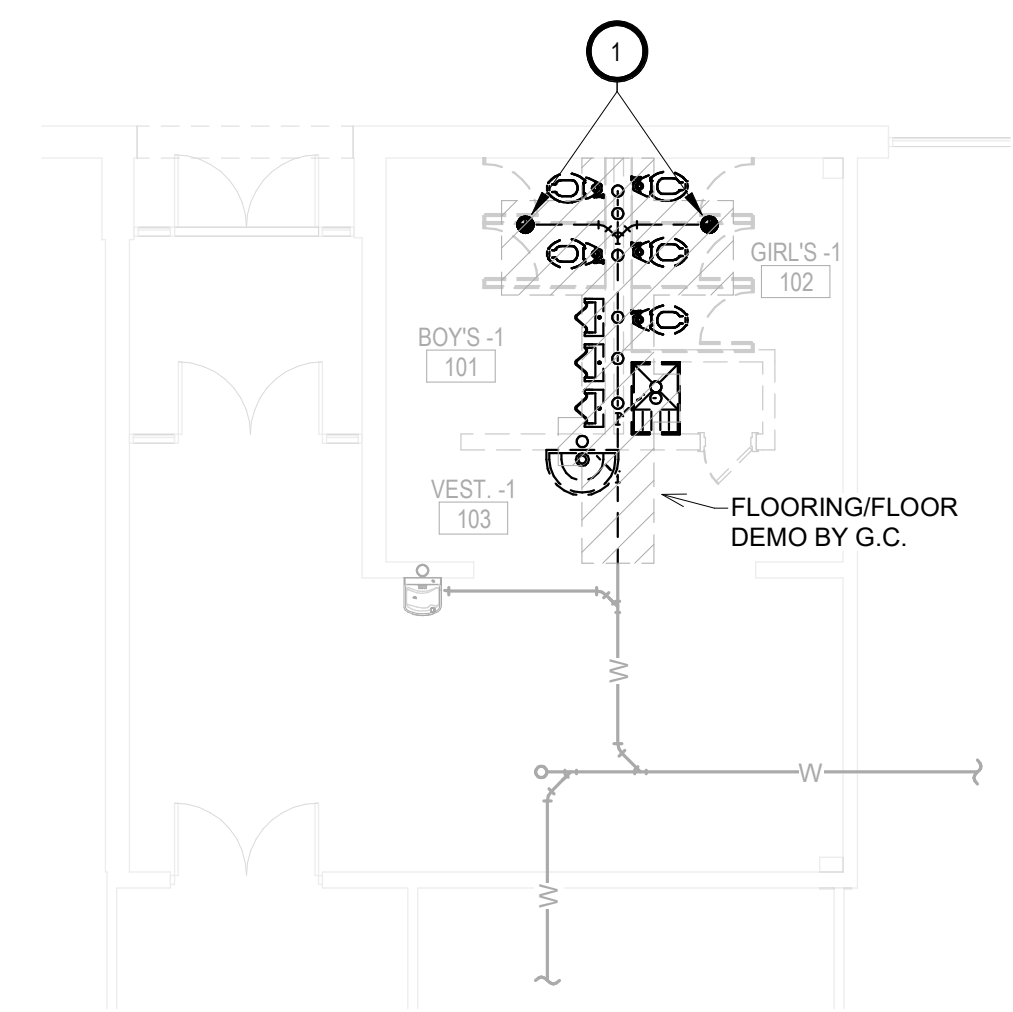
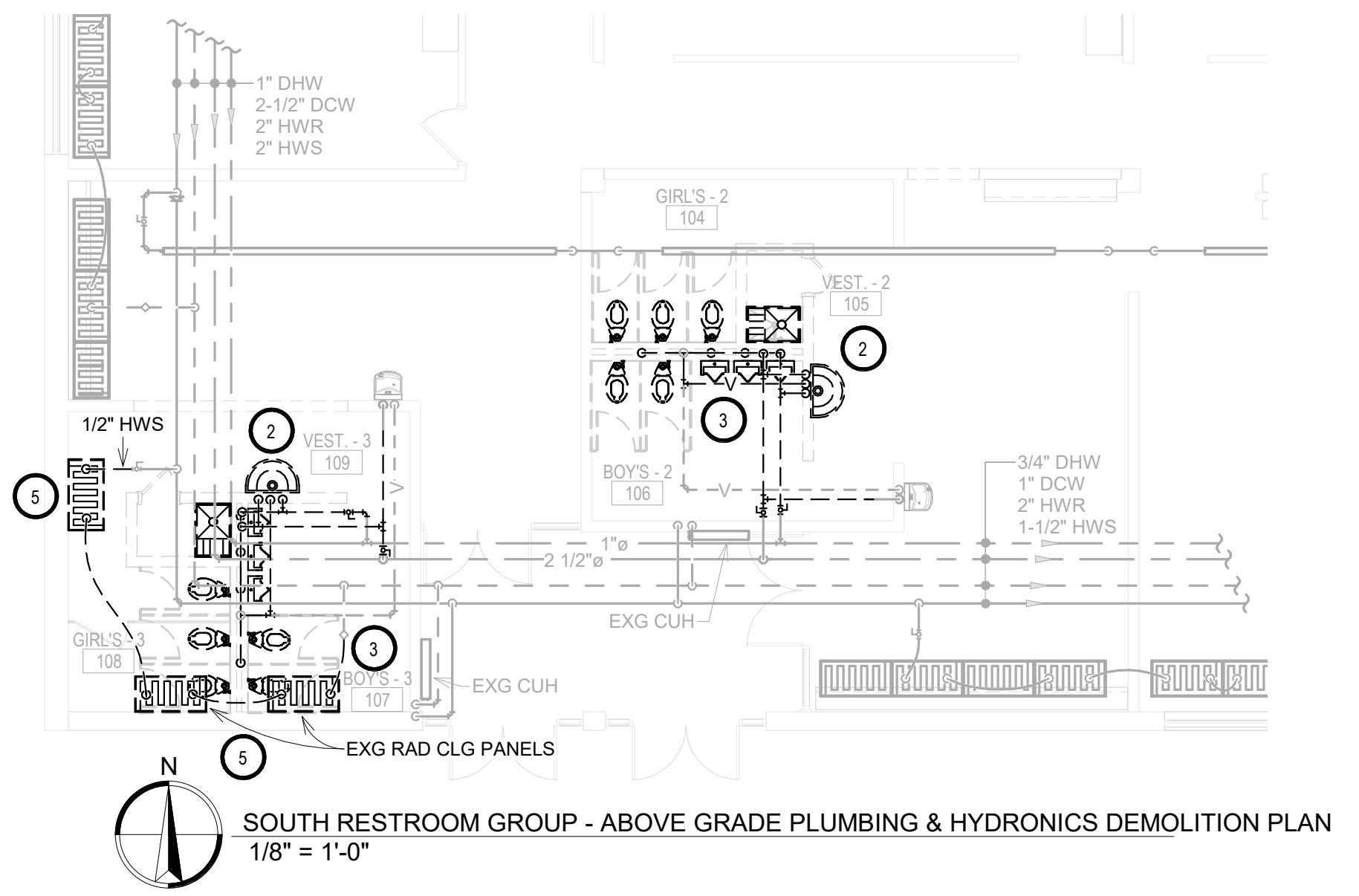
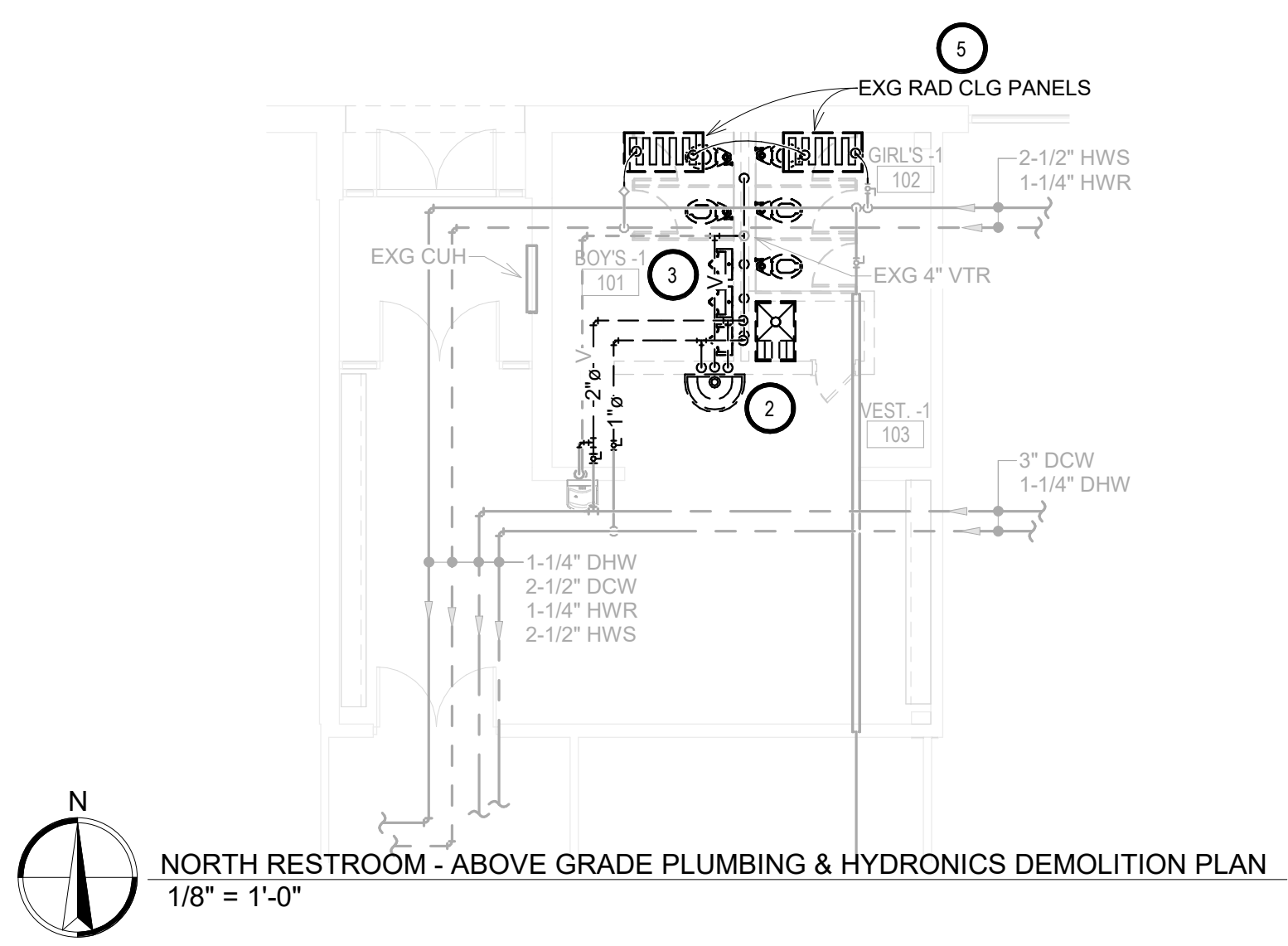
- A. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES, INCLUDING ANY NECESSARY DEMOLITION.
- B. REMOVE MECHANICAL EQUIPMENT IN THE AREAS SHOWN ON THE PLAN, DISCONNECT SERVICES AND REMOVE TO A POINT OUT OF THE WAY OF THE GENERAL DEMOLITION. MARK ON THE PLAN TO CLEARLY SHOW WHERE THESE SERVICES ARE STOPPED. DEMOLITION WORK SHALL BE COORDINATED WITH THE OWNER. SHOULD QUESTIONS ARISE REGARDING THE REMOVAL OF EQUIPMENT, CONFER WITH THE OWNER BEFORE SUCH EQUIPMENT IS DEMOLISHED. MATERIALS REMOVED BY DEMOLITION SHALL REMAIN THE PROPERTY OF THE OWNER UNLESS OTHERWISE SPECIFICALLY NOTED. MATERIAL THE OWNER DOES NOT WISH TO RETAIN SHALL BE REMOVED AND DISPOSED OF PROPERLY BY THE CONTRACTOR.
- C. EQUIPMENT SHOWN ON DRAWINGS AS EXISTING IS BASED ON EXISTING PLANS AND LIMITED FIELD INVESTIGATION. THE FIELD SURVEY WAS CONDUCTED TO VERIFY, AS MUCH AS POSSIBLE, THE ACCURACY OF THE LOCATIONS SHOWN. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE "EXISTING CONDITIONS" AS SHOWN ON THE DRAWINGS AS THE DEMOLITION WORK PROGRESSES. PERFORM MODIFICATIONS AND ADDITIONS AS NECESSARY TO CORRECT FOR THESE HIDDEN CONDITIONS AND ALLOW FOR THE COMPLETION OF THE NEW WORK.
- D. THE EXISTING BUILDING WILL BE IN USE DURING THIS CONSTRUCTION. SCHEDULE AND CARRY OUT THE WORK IN SUCH A MANNER AS TO CAUSE THE OWNER A MINIMUM OF INCONVENIENCE DUE TO SERVICE INTERRUPTIONS. TEMPORARY SERVICES SHALL BE INSTALLED IF ONE PHASE OF CONSTRUCTION DISRUPTS SERVICE TO ANOTHER AREA OF THE BUILDING OR IF EQUIPMENT HAS TO BE RELOCATED TO ALLOW CONSTRUCTION TO PROGRESS. SERVICE INTERRUPTIONS SHALL BE CONFINED TO THE SMALLEST AREA POSSIBLE AT ANY ONE TIME AND INTERRUPTIONS SHALL BE SCHEDULED WITH THE OWNER'S SITE REPRESENTATIVE. AFTER SERVICE HAS BEEN RESTORED FOLLOWING AN INTERRUPTION, INSPECT AREAS AFFECTED BY THE INTERRUPTION AND BE RESPONSIBLE FOR RETURNING AUTOMATICALLY CONTROLLED EQUIPMENT TO THE SAME OPERATING CONDITION, WHICH EXISTED PRIOR TO THE INTERRUPTION.
- E. PROVIDE PENETRATIONS TO THE BUILDING STRUCTURE AS REQUIRED FOR INSTALLATION. WHERE EXISTING OR TEMPORARY SYSTEMS ARE BEING DEMOLISHED, WHICH LEAVE OPENINGS IN THE EXISTING BUILDING STRUCTURE, THE BUILDING STRUCTURE SHALL BE PATCHED TO MATCH THE EXISTING CONSTRUCTION AND MAINTAIN THE EXISTING BUILDING FIRE RATINGS. ALL PENETRATIONS THROUGH DRAFT STOPS AND OTHER FIRE-RATED PARTITIONS SHALL BE FIRE STOPPED AS PER SPECIFICATIONS AND LOCAL CODES.
- F. ALL MECHANICAL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, NATIONAL PLUMBING REGULATIONS, AND THE AUTHORITY HAVING JURISDICTION.
- G. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR THE TESTING & CLEANING OF EACH RESPECTIVE SYSTEM IN ACCORDANCE WITH APPLICABLE STATE & LOCAL CODES. TESTS SHALL BE PERFORMED IN THE PRESENCE OF THE AUTHORITY HAVING JURISDICTION. WRITTEN NOTIFICATION OF TEST, DATE, AND RESULTS SHALL BE FURNISHED TO THE ENGINEER BEFORE CONCEALING OR COVERING THE INSTALLATION. TESTS SHALL BE REPEATED UNTIL EACH SYSTEM IS PROVEN ACCEPTABLE.

KEYNOTES

1. TYPICAL - PC TO REMOVE & REPLACE EXISTING FLOOR DRAINS & CLEANOUTS TO ACCOMMODATE REMODEL. SEE PROPOSED.
2. TYPICAL - PC TO DISCONNECT & REMOVE EXISTING PLUMBING FIXTURES & ASSOCIATED CARRIERS. REMOVE EXISTING DOMESTIC WATER PIPING, VENTING, & SANITARY SERVING FIXTURES. SEE PROPOSED.
3. CHASE WALL ON BOYS RESTROOM SIDE OF CHASE TO BE DEMOLISHED & REPLACED TO ALLOW ACCESS TO CHASE. COORDINATED WITH OTHER TRADES.
4. PC TO DISCONNECT & REMOVE EXISTING PLUMBING FIXTURES. REMOVE EXISTING DOMESTIC WATER PIPING & VENTING AS NECESSARY & PROVIDE & INSTALL VALVE & CAP NEAR MAINS. REMOVE EXISTING SANITARY BELOW FLOOR SHOWN DARK & DASHED. PROVIDE & INSTALL TEMPORARY INSULATED WATERTIGHT CAP ON EXISTING VENT THRU ROOF.
5. PC TO DISCONNECT & REMOVE EXISTING CEILING RADIANT HEAT. EXISTING RADIANT HEAT TO BE REINSTALLED. SEE PROPOSED.

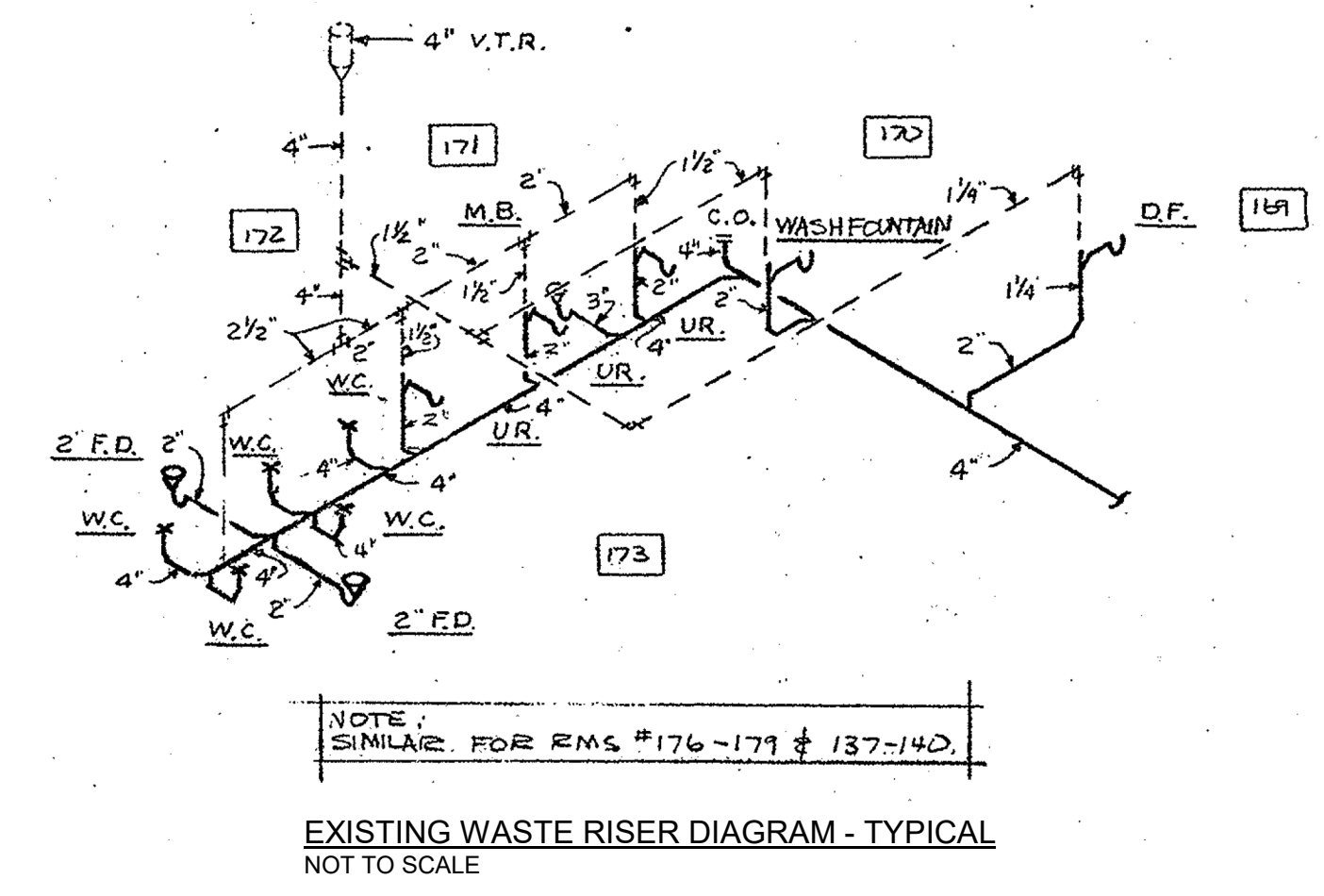
SPECIAL NOTES

- A. ALL MECHANICAL SYSTEMS, EXCLUDING DROPS, TO BE INSTALLED AS HIGH AS POSSIBLE TO PROVIDE MAXIMUM CLEARANCES FOR OWNER.
- B. ALL FLOOR CLEANOUTS TO BE LOCATED IN INCONSPICUOUS LOCATIONS. CLEANOUTS LOCATED IN DOORWAYS AND MIDDLE OF HALLWAYS WILL NOT BE ACCEPTABLE.
- C. IN AREAS WHERE CEILINGS ARE TO REMAIN, EACH TRADE SHALL BE RESPONSIBLE FOR ANY DAMAGE OR REPAIR NEEDED TO EXISTING CEILINGS AS A RESULT OF THEIR WORK.
- D. EACH TRADE TO BE RESPONSIBLE FOR CUTTING AND PATCHING AS NECESSARY TO ALLOW FOR COMPLETION OF THEIR WORK. REFER TO ARCHITECTURAL PLANS FOR SELECTIVE DEMOLITION BY OTHERS.
- E. ORIGINAL PLANS ARE SHOWN (CLIPS FROM ORIGINAL PDF'S), CONTRACTOR TO VERIFY EXISTING CONDITIONS.
- F. REMOVE EXISTING ACT CEILING AS NECESSARY FOR PROPOSED WORK AND REINSTALL.
- G. SEE ARCHITECTURAL SET OF PLANS FOR FLOOR CUTTING BY G.C.

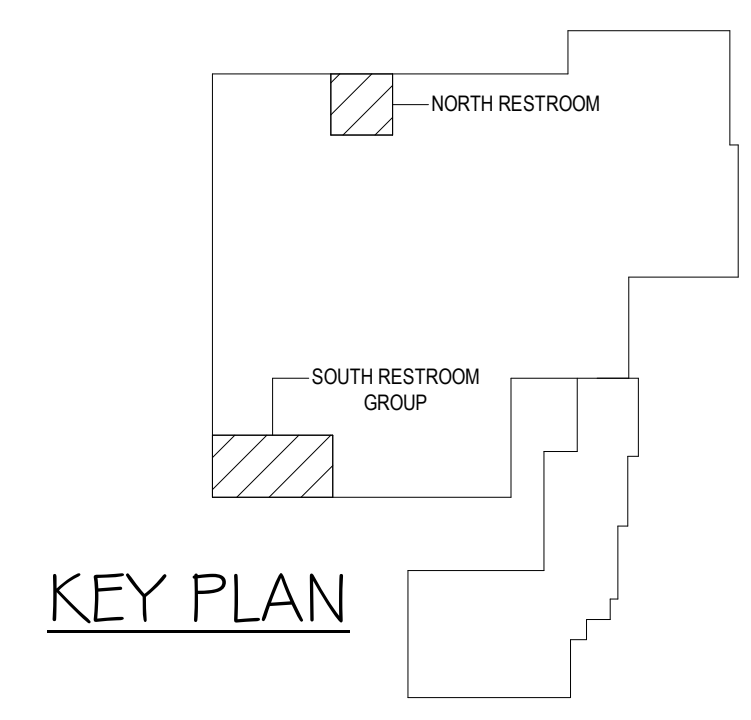
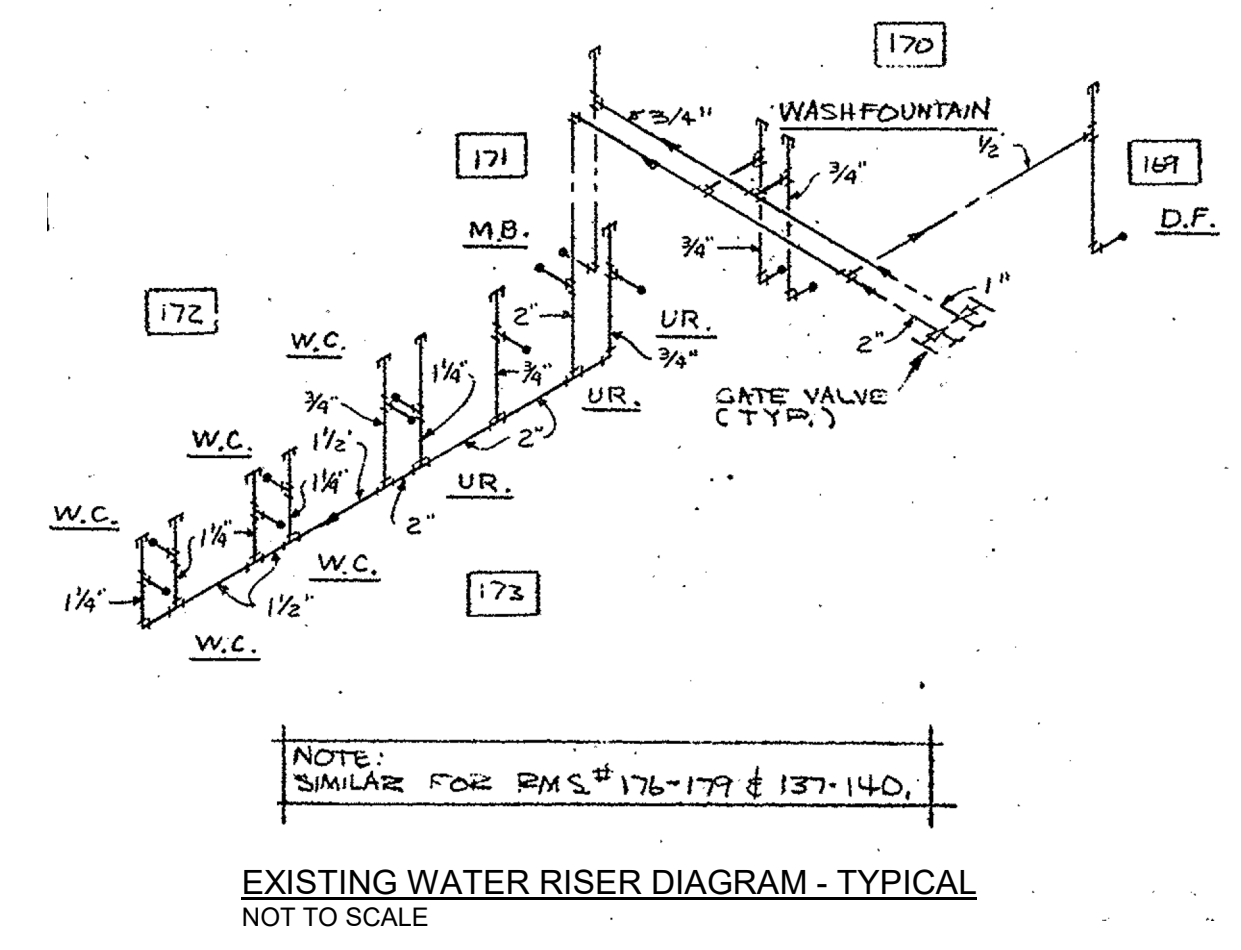


NORTH RESTROOM - BELOW GRADE PLUMBING DEMOLITION PLAN  
1/8" = 1'-0"

SOUTH RESTROOM GROUP - BELOW GRADE PLUMBING DEMOLITION PLAN  
1/8" = 1'-0"

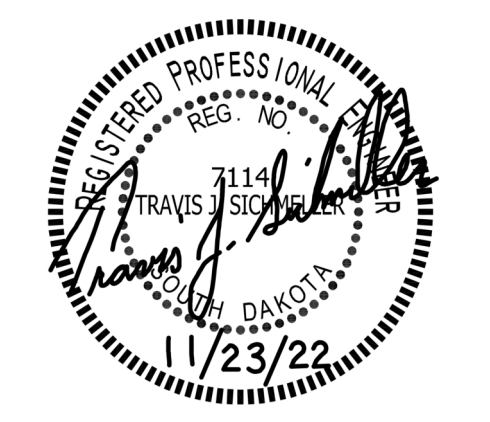


NOTE:  
EXISTING PLANS SHOWN ARE FOR  
REFERENCE ONLY SEE PLAN VIEW  
FOR DEMOLITION WORK.



KEY PLAN

SE PROJECT NO: 221000774



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11-23-22 CONSTRUCTION DOCUMENTS

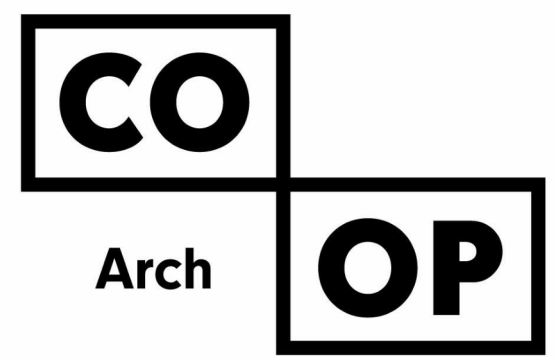
REVISION SCHEDULE:  
REV. # REV. DSC. REV. DATE

PROJECT:  
LINCOLN ELEMENTARY  
RESTROOM RENOVATIONS  
ABERDEEN SCHOOL DISTRICT  
ABERDEEN, SOUTH DAKOTA

SHEET TITLE:  
PLUMBING & HYDRONICS  
DEMOLITION PLAN

M200





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### GENERAL NOTES:

- A. ALL WORK SHALL BE PERFORMED IN A CLEAN AND WORKMANLIKE MANNER.
- B. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING ANY OPENINGS LEFT IN FLOORS, WALLS, AND CEILINGS THAT WERE CAUSED BY HIS/HER ACTIONS. PATCHING SHALL MATCH EXISTING SURFACE IN COLOR, TEXTURE AND QUALITY SO THAT PATCH IS INDISTINGUISHABLE FROM ORIGINAL SURFACE.
- C. ALL PENETRATIONS THROUGH DRAFT STOPS AND OTHER FIRE-RATED PARTITIONS SHALL BE FIRE STOPPED AS PER SPECIFICATIONS AND LOCAL CODES.
- D. ALL MECHANICAL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, NATIONAL PLUMBING REGULATIONS, AND THE AUTHORITY HAVING JURISDICTION.
- E. THE MECHANICAL DRAWINGS SHOW GENERAL ARRANGEMENT ONLY. EXACT LOCATION SHALL AVOID INTERFERENCE WITH ELECTRICAL EQUIPMENT & REQUIRED ELECTRICAL CLEARANCES.
- F. CONTRACTOR SHALL COORDINATE ALL PLUMBING WITH LIGHT FIXTURES, HVAC, FIRE SPRINKLER, AND STRUCTURAL TO ACCOMMODATE LIMITED CEILING SPACE.
- G. FRESH AIR INTAKES TO BE MINIMUM 10' FROM ANY EXHAUST TERMINATION.
- H. ALL FLOOR EQUIPMENT SHALL BE SET ON 4" HIGH CONCRETE BASES FURNISHED BY THIS CONTRACTOR.
- I. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY THE A/E IMMEDIATELY OF ANY DISCREPANCIES.
- J. COORDINATE NEW SERVICES WITH LOCAL UTILITIES.
- K. PLUMBING CONTRACTOR TO PROVIDE VENTING FOR ALL FLOOR DRAINS, TRENCH DRAINS, AND FLOOR SINKS AS SHOWN OR AS REQUIRED BY CODE.

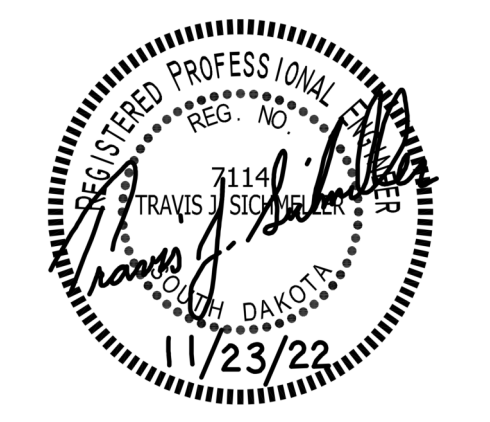
### KEYNOTES

- 1. PC TO REINSTALL EXISTING RADIANT HEAT CEILING PANELS.

### SPECIAL NOTES

- A. ALL MECHANICAL SYSTEMS, EXCLUDING DROPS, TO BE INSTALLED AS HIGH AS POSSIBLE TO PROVIDE MAXIMUM CLEARANCES FOR OWNER.
- B. FLOOR DRAINS & SINK LOCATIONS SHALL BE INSTALLED IN LOCATIONS PROPER TO ACCEPT INDIRECT DRAIN PIPING FROM BOILERS, WATER HEATER, RELIEFS, ETC. (TRIP HAZARDS FROM PIPING WILL NOT BE ACCEPTABLE).
- C. ALL FLOOR CLEANOUTS TO BE LOCATED IN INCONSPICUOUS LOCATIONS. CLEANOUTS LOCATED IN DOORWAYS AND MIDDLE OF HALLWAYS WILL NOT BE ACCEPTABLE.

SE PROJECT NO: 221000774



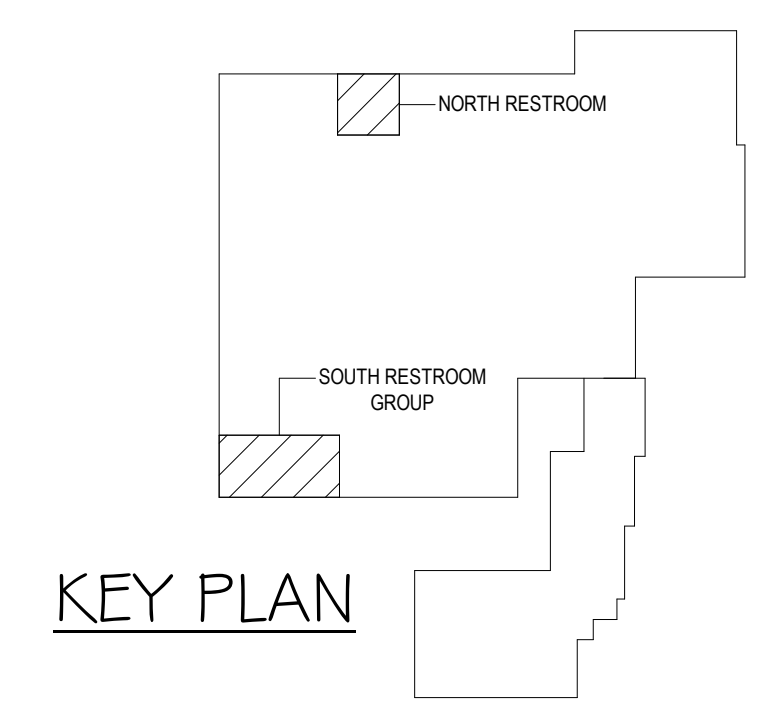
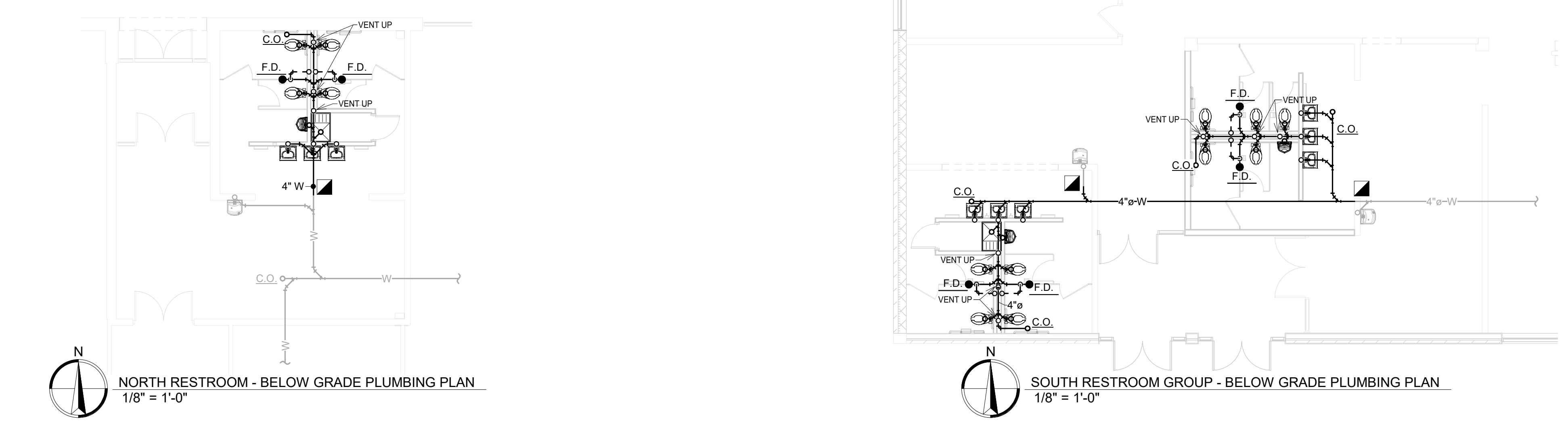
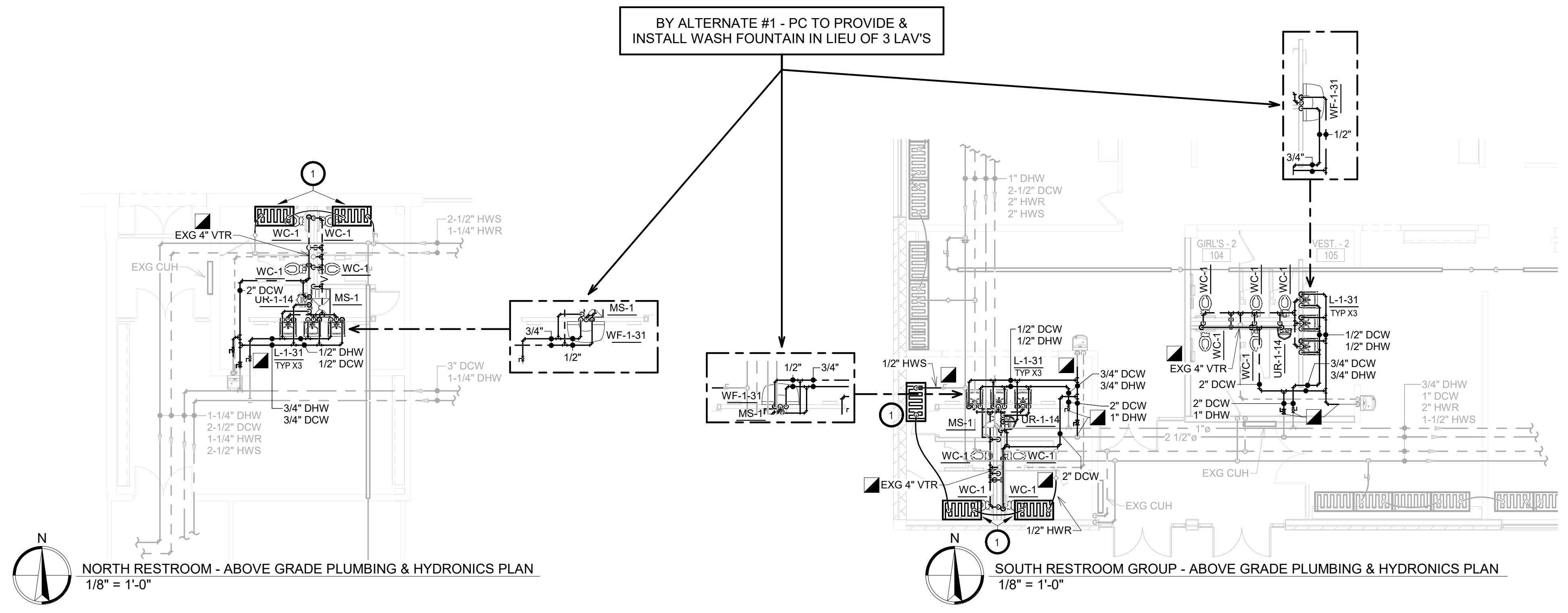
ISSUE:  
11-23-22 CONSTRUCTION DOCUMENTS

REVISION SCHEDULE:  
REV. # REV. DSC. REV. DATE

PROJECT:  
LINCOLN ELEMENTARY  
RESTROOM RENOVATIONS  
ABERDEEN SCHOOL DISTRICT  
ABERDEEN, SOUTH DAKOTA

SHEET TITLE:  
PROPOSED PLUMBING &  
HYDRONICS PLAN

# M300





### WC - 1

**HANDICAPPED YOUTH  
FLUSH VALVE TOILET  
FLOOR MOUNTED**

**YOUTH**

IN ANY ROOM OR STALL THAT HAS A WIDE SIDE, FLUSH VALVE TO BE ROUGHED IN ON THE NON-WIDE SIDE SUCH THAT THE SENSOR INSTALLS TO THE WIDE SIDE.

**MULTIPLE LOCATIONS**

SEE ARCHITECTURAL PLANS FOR DIVIDER & TOILET SPACING

WIDE SIDE (ADA)

14"

**PLUMBING FIXTURE:**  
AMERICAN STANDARD #2599.001 "MADERA YOUTH" VITREOUS CHINA, 1.6 GPF, ELONGATED BOWL, SIPHON FLUSH ACTION, 1-1/2" TOP SPUD.

**PLUMBING ACCESSORIES:**

- SLOAN REGAL 111 SFSM-1.6 SENSOR OPERATED BATTERY POWERED FLUSH VALVE WITH MECHANICAL OVERRIDE FLUSH BUTTON (ELECTRONIC OVERRIDE FLUSH BUTTON NOT ACCEPTABLE), 1.6 GPF.
- CHURCH #295SCT WHITE OPEN FRONT SEAT, LESS COVER.

PIPING CONNECTIONS			
COLD WATER	HOT WATER	WASTE	VENT
1"	-	4"	2"

### UR - 1 - XX

**NON-ADA AND HANDICAPPED  
WALL-MOUNTED URINAL**

**YOUTH**

**MULTIPLE LOCATIONS**

SEE ARCHITECTURAL PLANS FOR DIVIDER & URINAL SPACING

SEE ARCH. PLANS.

SEE SUFFIX "-XX" ON PLANS WHICH DENOTES MOUNTING HEIGHTS.

**PLUMBING FIXTURE:**  
AMERICAN STANDARD #6561.017 "TRIMBROOK", VITREOUS CHINA, SIPHON JET, 3/4" TOP SPUD.

**PLUMBING ACCESSORIES:**

- SLOAN REGAL 186 SFSM-1.0 SENSOR OPERATED BATTERY POWERED FLUSH VALVE WITH MECHANICAL OVERRIDE FLUSH BUTTON (ELECTRONIC OVERRIDE FLUSH BUTTON NOT ACCEPTABLE), 1.0 GPF.
- PROVIDE NECESSARY CARRIER.

PIPING CONNECTIONS			
COLD WATER	HOT WATER	WASTE	VENT
3/4"	-	2"	1-1/2"

### L - 1 - XX

**NON-ADA AND HANDICAPPED  
WALLHUNG LAVATORY**

**YOUTH**

**MULTIPLE LOCATIONS**

SEE ARCH.

SEE SUFFIX "-XX" ON PLANS WHICH DENOTES MOUNTING HEIGHTS

ABOVE DECK TEMP ADJUSTMENT VALVE

**PLUMBING FIXTURE:**  
AMERICAN STANDARD #0355.012 "LUCERNE" VITREOUS CHINA, FRONT OVERFLOW, SELF-DRAINING DECK AREA WITH CONTOURED BACK AND SIDE SPLASH SHIELDS, 2 FAUCET HOLES (1 CENTERED, 1 OFFSET FOR SOAP DISPENSER).

**PLUMBING ACCESSORIES:**

- SLOAN EAF-100-ISM-9 #3335004 COMMERCIAL GRADE, ADA COMPLIANT, ELECTRONIC, SENSOR-ACTIVATED, POLISHED CHROME PLATED CAST BRASS FAUCET WITH & ABOVE-DECK SIDE MIXER, WITH LITHIUM BATTERY PACK POWER SUPPLY, DUAL INFRARED SENSORS, MAGNETIC SOLENOID VALVE, 1.5 GPM AERATOR, SINGLE HOLE DECK MOUNTED.
- ZURN Z1231 CONCEALED ARM SUPPORT (FLOOR MOUNT CARRIER).
- LEONARD 170A-LF-BP-BRKT THERMOSTATIC MIXING VALVE WITH COLD WATER BY-PASS & MOUNTING BRACKET.
- SUPPLIES & DEARBORN 1/4 TURN STOPS.
- DEARBORN #701 1-1/4" 17 GA. P-TRAP, DEARBORN #760 OFFSET GRID STRAINER.
- TRUEBRO PREMOLDED INSULATION KIT (WHITE).

PIPING CONNECTIONS			
COLD WATER	HOT WATER	WASTE	VENT
1/2"	1/2"	2"	1-1/2"

### WF - 1 - 31

**HANDICAPPED  
QUAD-FOUNT WALL-MOUNT  
WASH FOUNTAIN - JUVENILE  
HEIGHT**

**YOUTH**

**MULTIPLE LOCATIONS  
(BY ALTERNATE)**

31" MAX (JUVENILE HEIGHT)

**PLUMBING FIXTURE:**  
BRADLEY MODEL MF2949-JUV-BIR3-LS-D-TMA SEMI-CIRCULAR 4 PERSON TERREON(R) WASH FOUNTAIN. OFFLINE VENT WITH SUPPLIES FROM BELOW, BARRIER-FREE, JUVENILE HEIGHT, INFARED CONTROLS, TWO INTEGRAL LIQUID SOAP DISPENSERS, VALVES, AND FITTINGS. PROVIDE UNIT WITH GVDC SOLENOID WITH LITHIUM BATTERY PACK. ARCHITECT TO CHOOSE STANDARD, DESIGNER, OR TERREONRE COLOR (INCLUDE ADDITIONAL CHARGE SO ANY COLOR CAN BE SELECTED)

**PLUMBING ACCESSORIES:**

- ANCHORS & BOLTS
- PROVIDE & INSTALL IN WALL CARRIER

PIPING CONNECTIONS			
COLD WATER	HOT WATER	WASTE	VENT
1/2"	1/2"	2"	1-1/2"

### MS - 1

**MOP SINK**

WALL PROTECTION BY G.C.

2'-8"

**PLUMBING FIXTURE:**  
ZURN Z1996-36 36"X24"X10" MOLDED HIGH DENSITY COMPOSITE MOP SERVICE BASIN.

**PLUMBING ACCESSORIES:**

- AMERICAN STANDARD #8354.112 EXPOSED YOKE FAUCET W/ VACUUM BREAKER W/ TOP BRACE, DISC VALVE CARTRIDGES, CAST BRASS BODY, BRASS LEVER HANDLES & SPOUT WITH BUCKET HOOK.
- ZURN ACCESSORIES -HH HOSE AND HOSE BRACKET, & -MH MOP HANGER.

PIPING CONNECTIONS			
COLD WATER	HOT WATER	WASTE	VENT
3/4"	3/4"	3"	1-1/2"

### FD

**2" ADJUSTABLE  
FLOOR DRAIN**

**PLUMBING FIXTURE:**  
SIOUX CHIEF MODEL 832-2P NR ADJUSTABLE ON-GRADE FLOOR DRAIN. LIGHT DUTY ROUND NICKEL-BRONZE STRAINER IN PEDESTRIAN LOAD AREAS ONLY. FLOOR DRAIN SHALL ALLOW ADJUSTMENT OF 1.25" BEFORE THE CONCRETE POUR, AND 1.25" AFTER THE CONCRETE POUR.

PIPING CONNECTIONS			
COLD WATER	HOT WATER	WASTE	VENT
-	-	2"	SEE PLAN

### CO

**ADJUSTABLE  
CLEAN OUT**

**PLUMBING FIXTURE:**  
SIOUX CHIEF MODEL 834-4D-NR, 4" NO-HUB CONNECTION. FOR INTENDED USE, LIGHT DUTY NICKEL ROUND COVER, IN PEDESTRIAN LOAD AREAS ONLY. CLEANOUT SHALL ALLOW ADJUSTMENT OF 1.25" BEFORE THE CONCRETE POUR, AND 1.25" AFTER THE CONCRETE POUR.

PIPING CONNECTIONS			
COLD WATER	HOT WATER	WASTE	VENT
-	-	SEE PLAN	-

PRIOR TO ALL PLUMBING ROUGH-INS FOR ALL PLUMBING FIXTURES COORDINATE WITH G.C. & REFER TO ARCHITECTURAL ELEVATIONS.

DOMESTIC PIPING SHALL BE INSTALLED WITH PROPER SAFEGUARDS TO PREVENT WATER HAMMER. THIS WILL BE DONE BY INSTALLING A SUFFICIENT NUMBER OF PREMANUFACTURED SHOCK ABSORBERS. SHOCK ABSORBERS SHALL BE WATTS OR EQUAL. EXACT MODEL TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

## CO Arch OP

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SE PROJECT NO: 221000774

**ISSUE:**  
11-23-22 CONSTRUCTION DOCUMENTS

**REVISION SCHEDULE:**

REV. #	REV. DSC.	REV. DATE

**PROJECT:**  
LINCOLN ELEMENTARY  
RESTROOM RENOVATIONS  
ABERDEEN SCHOOL DISTRICT  
ABERDEEN, SOUTH DAKOTA

**SHEET TITLE:**  
PLUMBING FIXTURE SCHEDULE

# M400



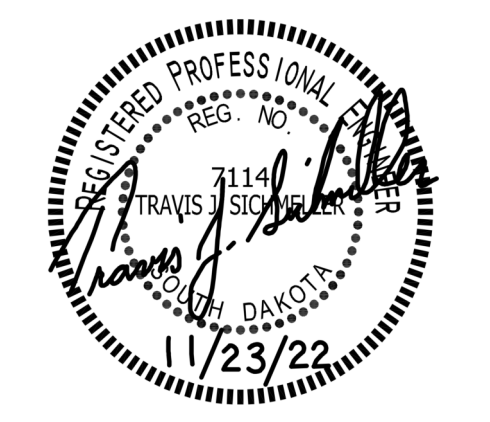
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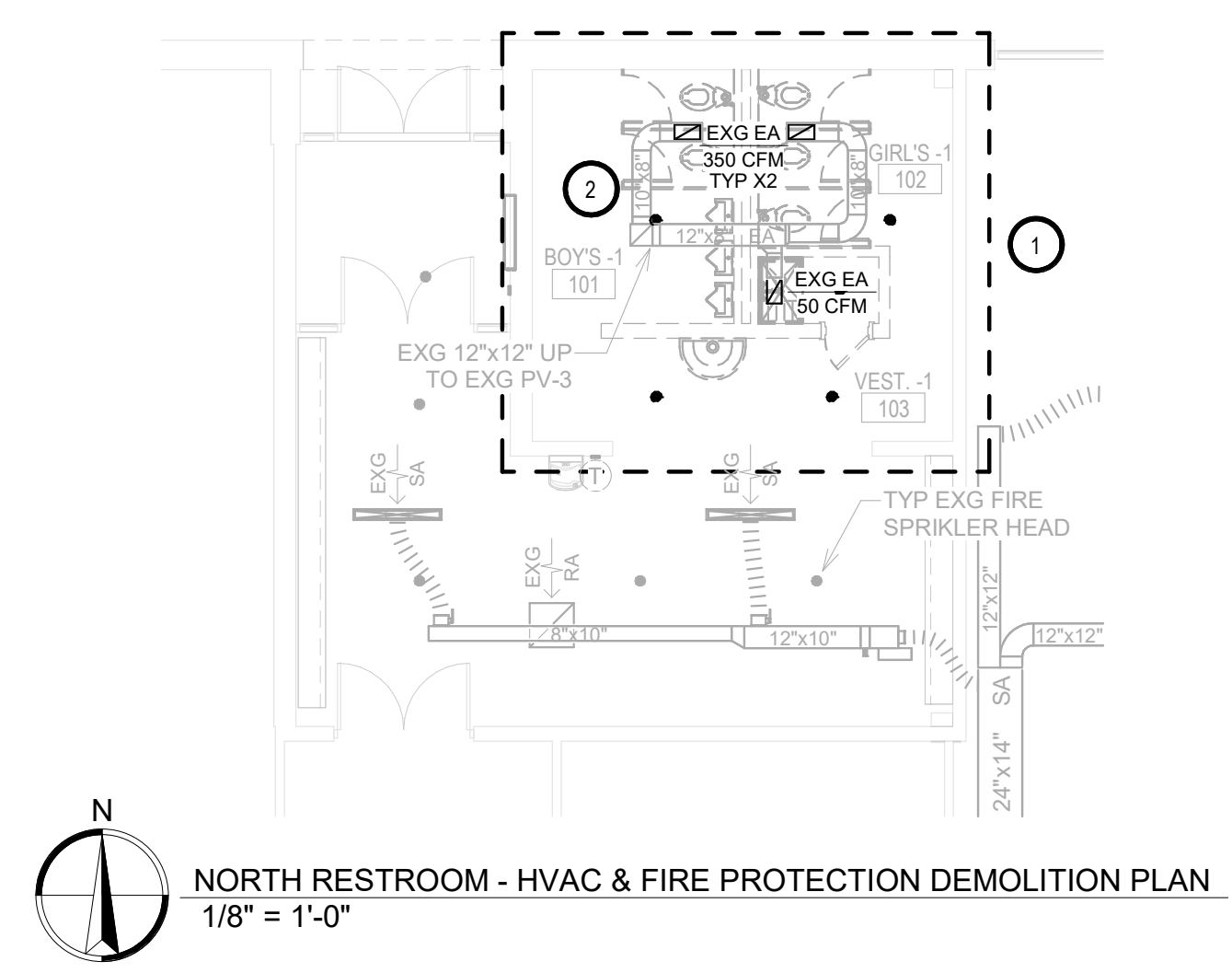
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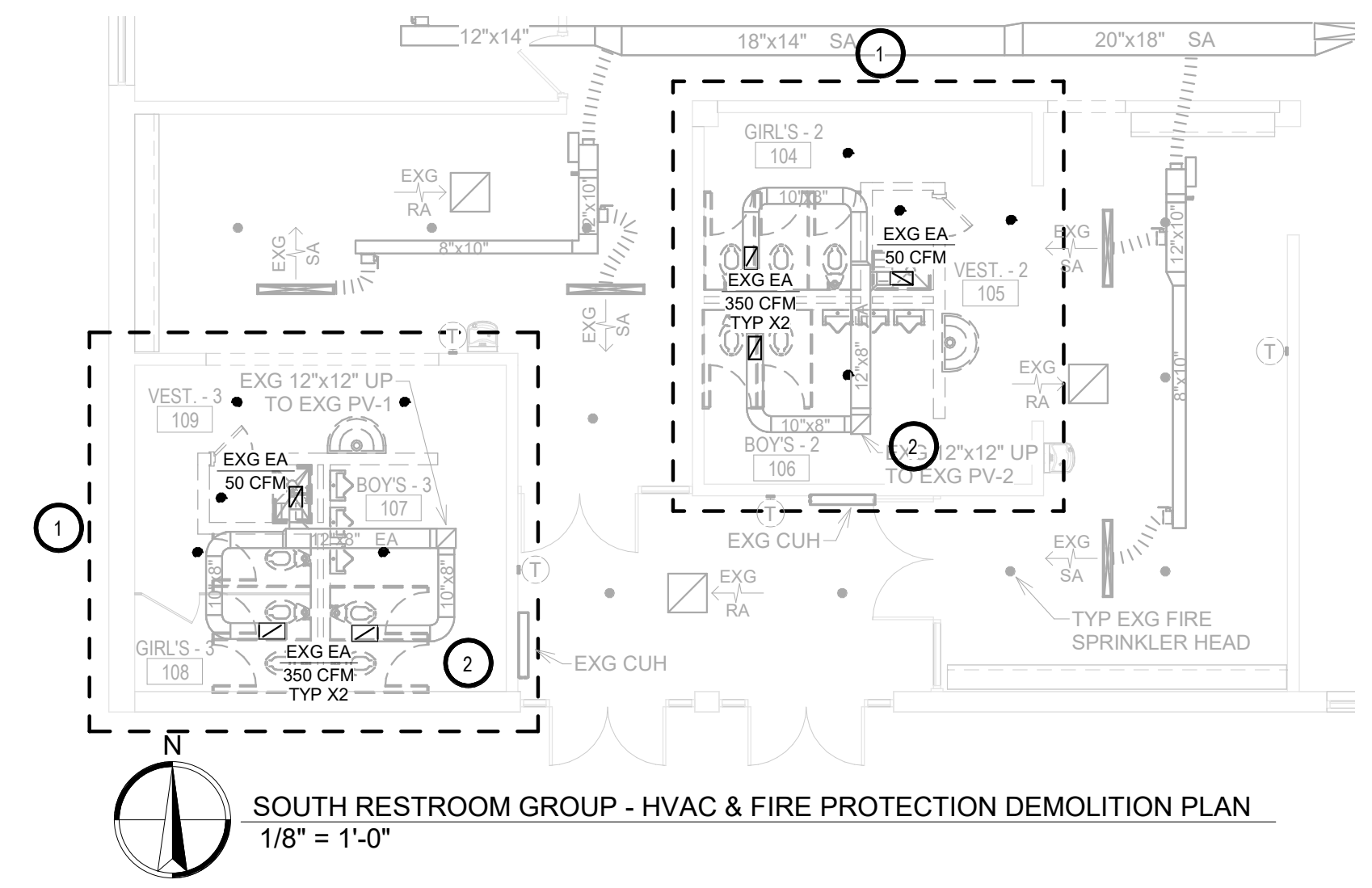
PROJECT:  
LINCOLN ELEMENTARY  
RESTROOM RENOVATIONS  
ABERDEEN SCHOOL DISTRICT  
ABERDEEN, SOUTH DAKOTA

SHEET TITLE:  
HVAC & FIRE PROTECTION  
PLAN

**M500**

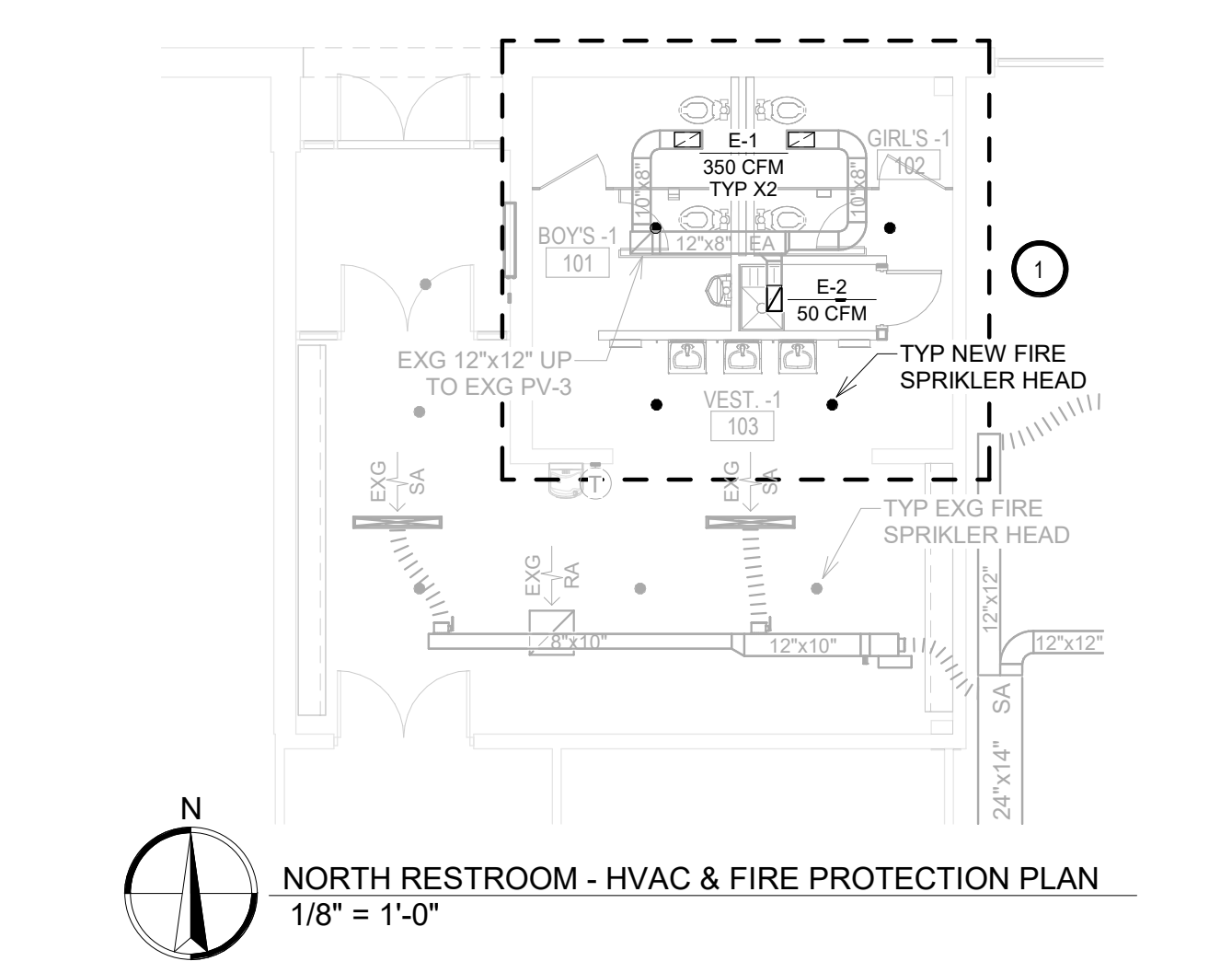


**NORTH RESTROOM - HVAC & FIRE PROTECTION DEMOLITION PLAN**  
1/8" = 1'-0"

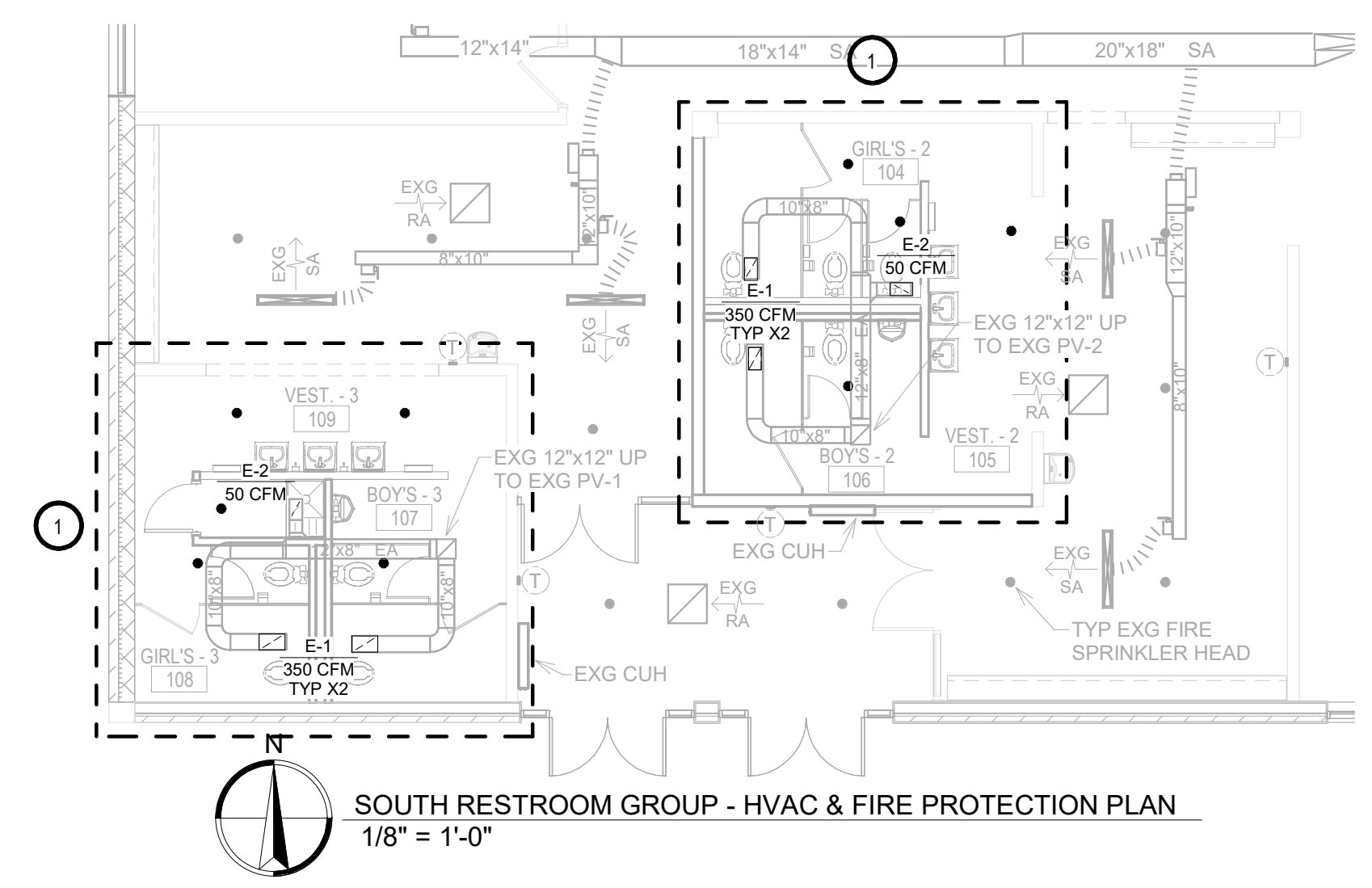


**SOUTH RESTROOM GROUP - HVAC & FIRE PROTECTION DEMOLITION PLAN**  
1/8" = 1'-0"

- KEYNOTES**
1. AREA WITHIN DASHED BOLD OUTLINE - SPRINKLER CONTRACTOR TO PROVIDE & INSTALL NEW FIRE SPRINKLER HEAD & ASSOCIATED SPRINKLER PIPING AS NECESSARY. SPRINKLER CONTRACTOR TO CENTER WITHIN NEW 2X2 ACT. PROPOSED CEILING TO BE INSTALLED AT THE SAME HEIGHT AS EXISTING. SEE SPRINKLER HEAD DETAIL.
  2. VC TO REMOVE EXISTING REGISTERS TO ACCOMMODATE REMODEL. SEE PROPOSED (THIS SHEET).



**NORTH RESTROOM - HVAC & FIRE PROTECTION PLAN**  
1/8" = 1'-0"

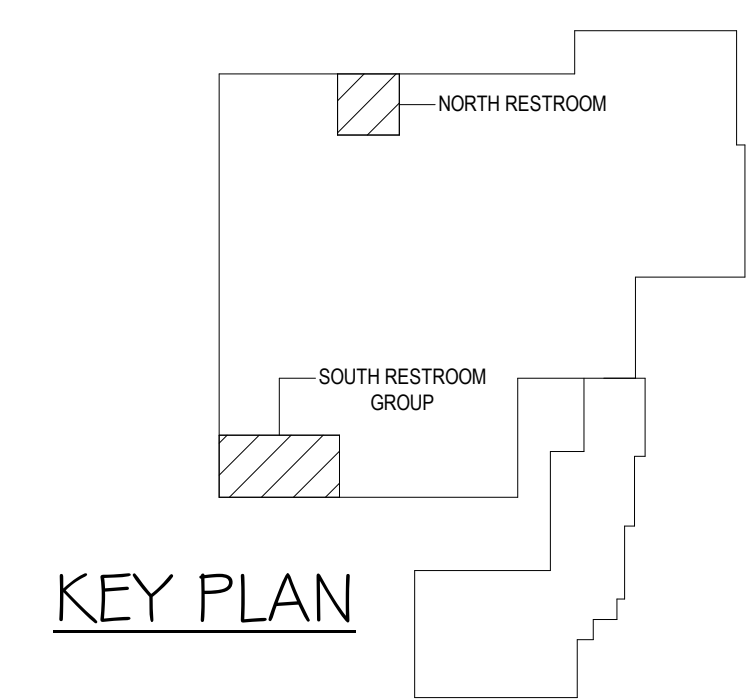


**SOUTH RESTROOM GROUP - HVAC & FIRE PROTECTION PLAN**  
1/8" = 1'-0"

**GRILLE - REGISTER - DIFFUSER SCHEDULE**

EQUIP. NO.	MANUFACTURER & MODEL	NOMINAL SIZE	THROAT SIZE	MAX CFM	MAX APD	THROW	MAX NC	FRAME	FINISH	MATERIAL	NOTES
E-1	PRICE 630	16x8	14x8	350	0.09"	-	19	SURFACE MOUNT	WHITE	ALUMINUM	1,2,3
E-2	PRICE 630	10x6	8x6	50	0.01"	-	10	SURFACE MOUNT	WHITE	ALUMINUM	1,2,3

NOTES:  
1. M.C. SHALL COORDINATE MOUNTING AND SURFACE CONSTRUCTION PRIOR TO FURNISHING MATERIAL. M.C. SHALL ALSO COORDINATE EXACT LOCATION OF EQUIPMENT.  
2. PROVIDE WITH OPPOSED BLADE BALANCING DAMPER.  
3. 45° DEFLECTION BLADES, 3/4" SPACING.



KEY PLAN



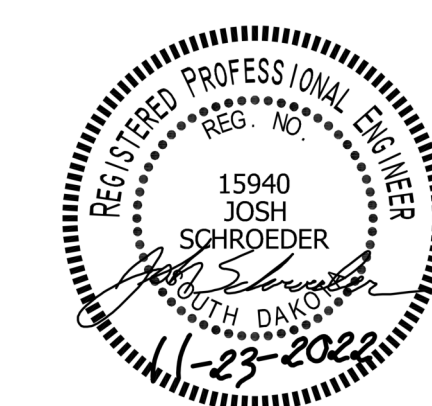
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PROJECT:  
LINCOLN ELEMENTARY  
RESTROOM RENOVATIONS  
ABERDEEN SCHOOL DISTRICT  
ABERDEEN, SOUTH DAKOTA

SHEET TITLE:  
ELECTRICAL PLAN

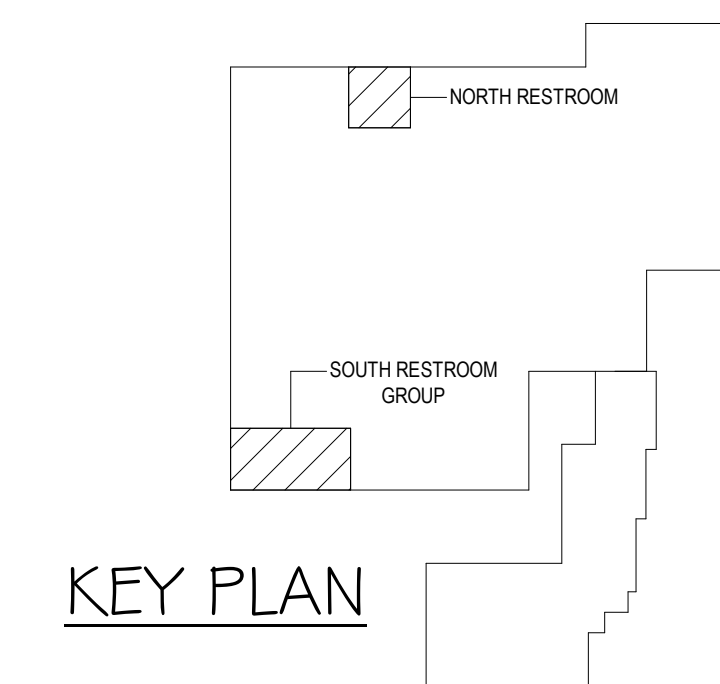
**E200**

ELECTRICAL GENERAL NOTES:

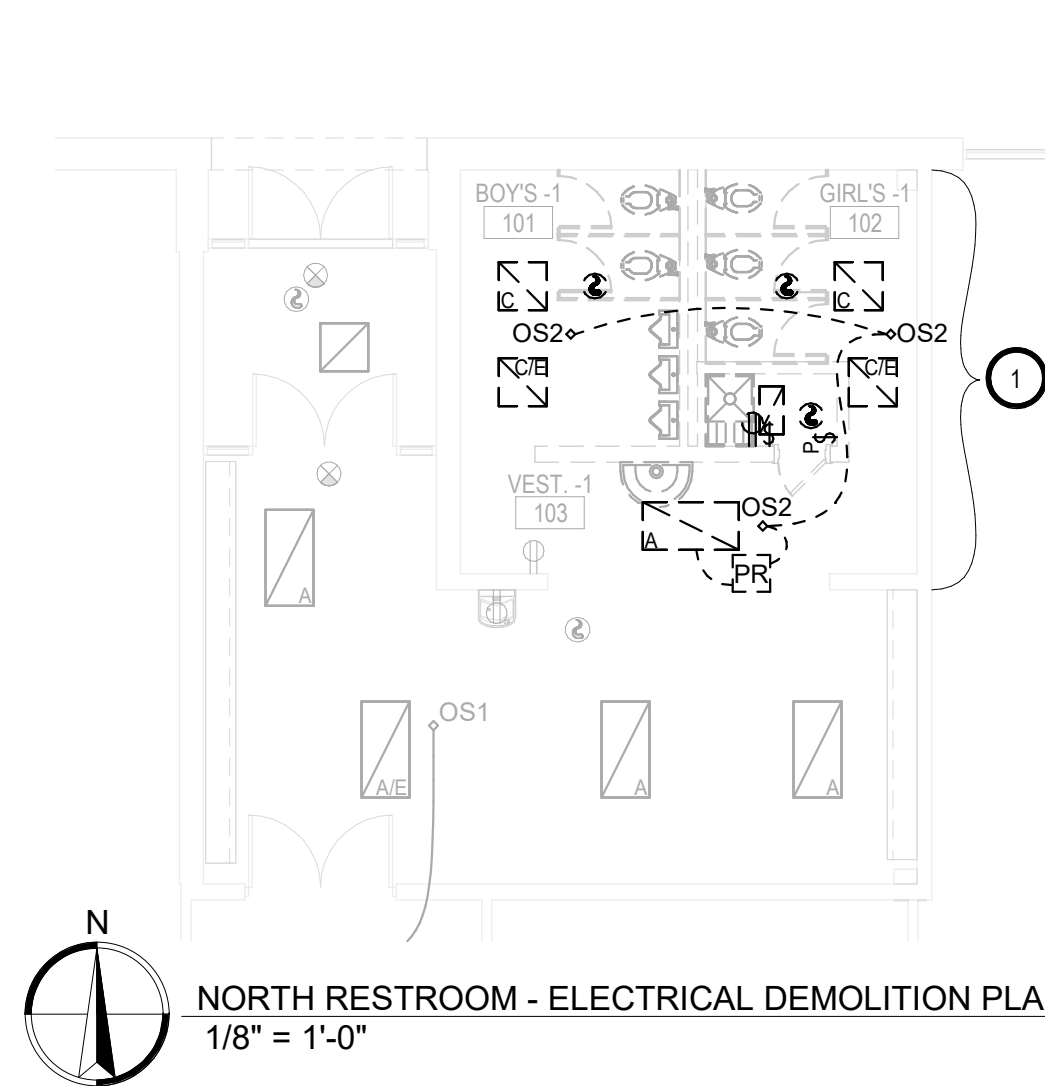
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES, INCLUDING ANY NECESSARY DEMOLITION.
- REMOVE EQUIPMENT IN THE AREAS SHOWN ON THE PLAN. DISCONNECT SERVICES AND REMOVE TO A POINT OUT OF THE WAY OF THE GENERAL DEMOLITION. MARK ON THE PLAN TO CLEARLY SHOW WHERE THESE SERVICES ARE STOPPED. DEMOLITION WORK SHALL BE COORDINATED WITH THE OWNER. SHOULD QUESTIONS ARISE REGARDING THE REMOVAL OF EQUIPMENT, CONFER WITH THE OWNER BEFORE SUCH EQUIPMENT IS DEMOLISHED. MATERIALS REMOVED BY DEMOLITION SHALL REMAIN THE PROPERTY OF THE OWNER UNLESS OTHERWISE SPECIFICALLY NOTED. MATERIAL THE OWNER DOES NOT WISH TO RETAIN SHALL BE REMOVED AND DISPOSED OF PROPERLY BY THE CONTRACTOR.
- EQUIPMENT SHOWN ON DRAWINGS AS EXISTING IS BASED ON EXISTING PLANS AND LIMITED FIELD INVESTIGATION. THE FIELD SURVEY WAS CONDUCTED TO VERIFY, AS MUCH AS POSSIBLE, THE ACCURACY OF THE LOCATIONS SHOWN. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE "EXISTING CONDITIONS" AS SHOWN ON THE DRAWINGS AS THE DEMOLITION WORK PROGRESSES. PERFORM MODIFICATIONS AND ADDITIONS AS NECESSARY TO CORRECT FOR THESE HIDDEN CONDITIONS AND ALLOW FOR THE COMPLETION OF THE NEW WORK.
- THE EXISTING BUILDING WILL BE IN USE DURING THIS CONSTRUCTION. SCHEDULE AND CARRY OUT THE WORK IN SUCH A MANNER AS TO CAUSE THE OWNER A MINIMUM OF INCONVENIENCE DUE TO SERVICE INTERRUPTIONS. TEMPORARY SERVICES SHALL BE INSTALLED IF ONE PHASE OF CONSTRUCTION DISRUPTS SERVICE TO ANOTHER AREA OF THE BUILDING OR IF EQUIPMENT HAS TO BE RELOCATED TO ALLOW CONSTRUCTION TO PROGRESS. SERVICE INTERRUPTIONS SHALL BE CONFINED TO THE SMALLEST AREA POSSIBLE AT ANY ONE TIME AND INTERRUPTIONS SHALL BE SCHEDULED WITH THE OWNER'S SITE REPRESENTATIVE. AFTER SERVICE HAS BEEN RESTORED FOLLOWING AN INTERRUPTION, INSPECT AREAS AFFECTED BY THE INTERRUPTION AND BE RESPONSIBLE FOR RETURNING AUTOMATICALLY CONTROLLED EQUIPMENT TO THE SAME OPERATING CONDITION, WHICH EXISTED PRIOR TO THE INTERRUPTION.
- PROVIDE PENETRATIONS TO THE BUILDING STRUCTURE AS REQUIRED FOR INSTALLATION. WHERE EXISTING OR TEMPORARY SYSTEMS ARE BEING DEMOLISHED, WHICH LEAVE OPENINGS IN THE EXISTING BUILDING STRUCTURE, THE BUILDING STRUCTURE SHALL BE PATCHED TO MATCH THE EXISTING CONSTRUCTION AND MAINTAIN THE EXISTING BUILDING FIRE RATINGS. ALL PENETRATIONS THROUGH DRAFT STOPS AND OTHER FIRE-RATED PARTITIONS SHALL BE FIRE STOPPED AS PER SPECIFICATIONS AND LOCAL CODES.
- ALL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, NATIONAL PLUMBING REGULATIONS, AND THE AUTHORITY HAVING JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE TESTING & CLEANING OF EACH RESPECTIVE SYSTEM IN ACCORDANCE WITH APPLICABLE STATE & LOCAL CODES. TESTS SHALL BE PERFORMED IN THE PRESENCE OF THE AUTHORITY HAVING JURISDICTION. WRITTEN NOTIFICATION OF TEST, DATE, AND RESULTS SHALL BE FURNISHED TO THE ENGINEER BEFORE CONCEALING OR COVERING THE INSTALLATION. TESTS SHALL BE REPEATED UNTIL EACH SYSTEM IS PROVEN ACCEPTABLE.

KEYNOTES

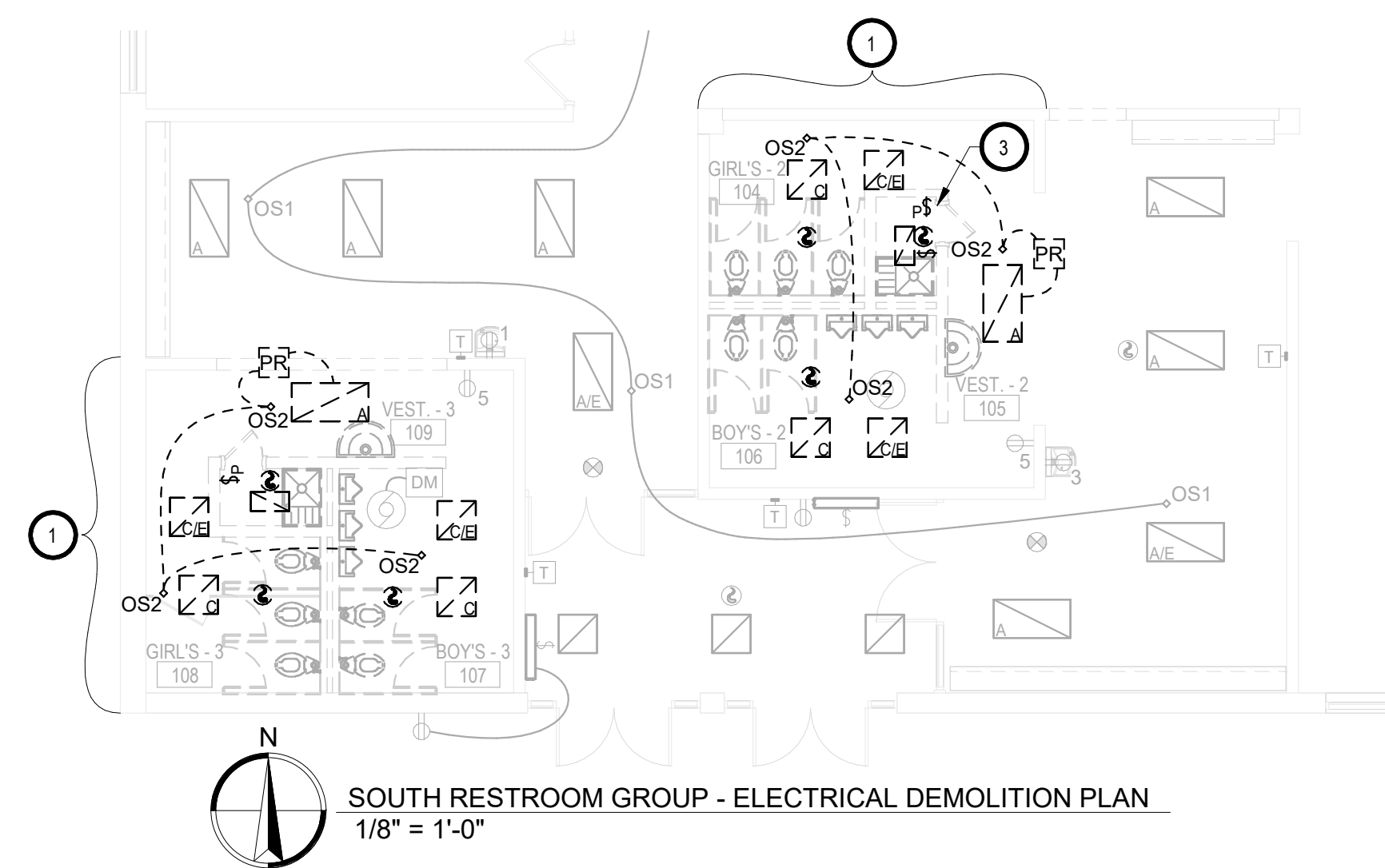
- WHERE CEILINGS ARE TO BE REMOVED & REPLACED BY THE GENERAL CONTRACTOR, ELECTRICAL CONTRACTOR TO DISCONNECT AS NEEDED/TEMPORARILY SUSPEND ALL ELECTRICAL SYSTEM DEVICES. PROVIDE PROTECTION FROM CONSTRUCTION/DUST AS NECESSARY. SPECIAL CARE SHOULD BE TAKEN WITH EXISTING LIGHT FIXTURES. FIXTURES WERE PART OF A RECENT LIGHTING UPGRADE. ALL DAMAGES ARE RESPONSIBILITY OF ELECTRICAL CONTRACTOR.
- ELECTRICAL CONTRACTOR TO REINSTALL ALL ELECTRICAL SYSTEMS TO ACCOMMODATE NEW ACT CEILINGS.
- JANITOR'S CLOSET: PROVIDE REMOVAL OF LIGHT FIXTURE, SWITCH AND FIRE ALARM SMOKE DETECTOR. TURN DEVICES OVER TO OWNER.



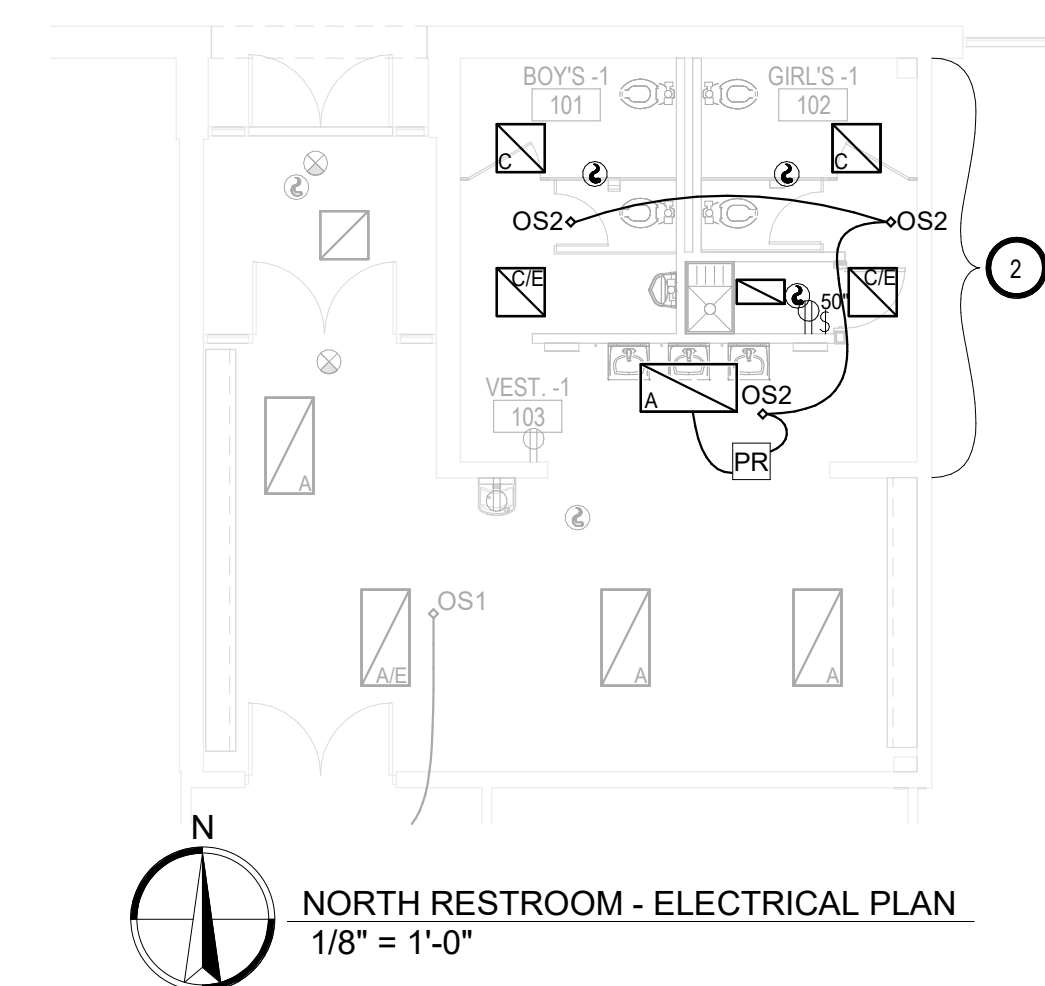
KEY PLAN



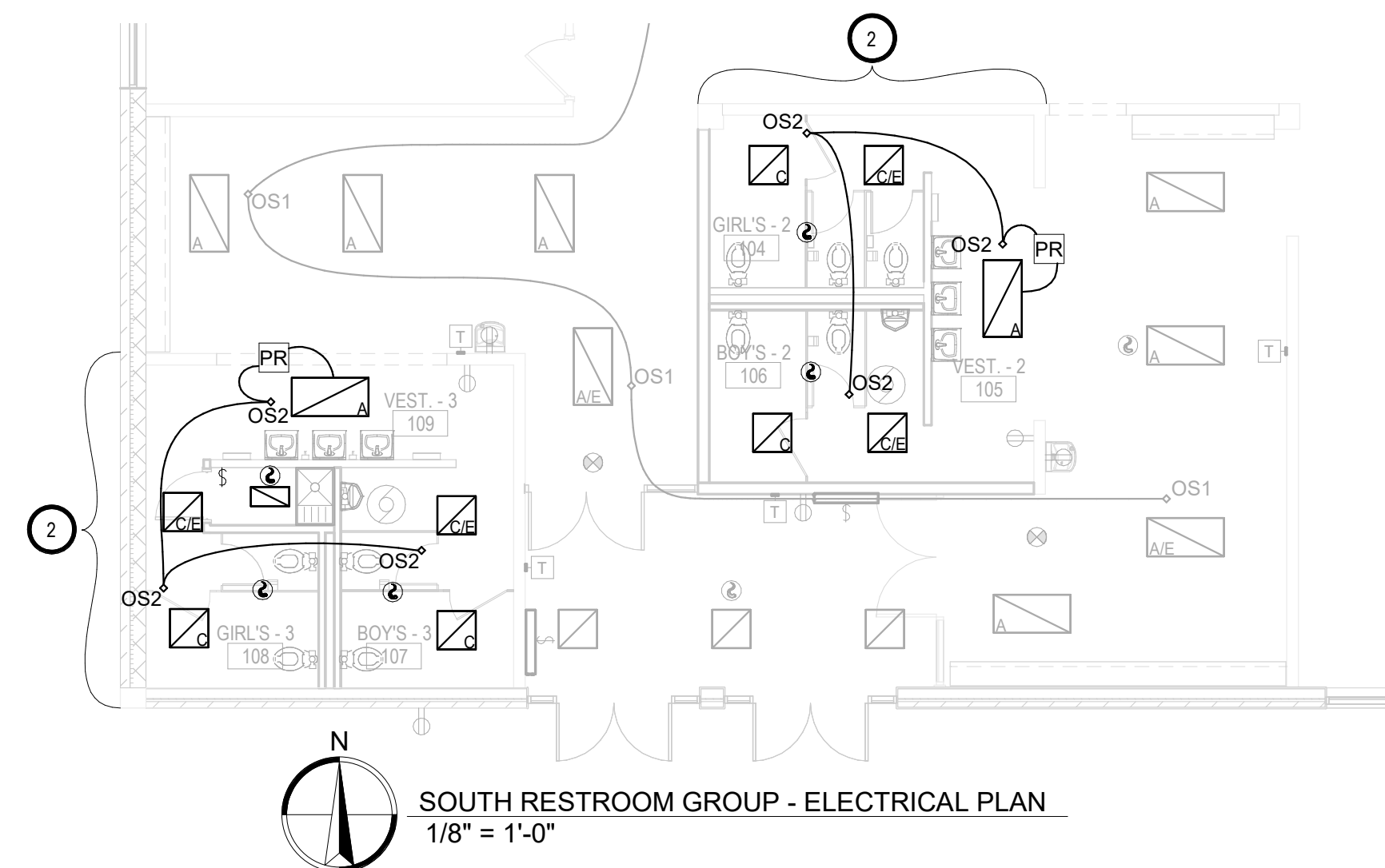
NORTH RESTROOM - ELECTRICAL DEMOLITION PLAN  
1/8" = 1'-0"



SOUTH RESTROOM GROUP - ELECTRICAL DEMOLITION PLAN  
1/8" = 1'-0"



NORTH RESTROOM - ELECTRICAL PLAN  
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